

CITY OF UNLEY

COUNCIL ASSESSMENT PANEL

Dear Member

I write to advise of the Council Assessment Panel Meeting to be held on Tuesday 20 April 2021 at 6:30pm in the Unley Council Chambers, 181 Unley Road Unley.



Gary Brinkworth
ASSESSMENT MANAGER

Dated 14/04/2021

ACKNOWLEDGEMENT

We would like to acknowledge this land that we meet on today is the traditional lands for the Kurna people and that we respect their spiritual relationship with their country. We also acknowledge the Kurna people as the custodians of the Adelaide region and that their cultural and heritage beliefs are still as important to the living Kurna people today.

CITY OF UNLEY
COUNCIL ASSESSMENT PANEL

20 April 2021

MEMBERS:

Mr Brenton Burman (Presiding Member)
Mrs Colleen Dunn
Mr Michael McKeown
Mr Ross Bateup
Mrs Emma Wright

APOLOGIES:

CONFLICT OF INTEREST:

CONFIRMATION OF MINUTES:

MOVED:

SECONDED:

That the Minutes of the City of Unley, Council Assessment Panel meeting held on Tuesday 16 March 2021, as printed and circulated, be taken as read and signed as a correct record.

AGENDA

Apologies
Conflict of Interest
Confirmation

Item No	Development Application	Page
1.	4 Forest Avenue Black Forest – 958/2020/C2 - WITHDRAWN	4-28
2.	5B Roberts Street Unley – 957/2020/C2	29-76
3.	55 Castle Street Parkside – 784/2019/C2	77-117
4.	11 Yeo Avenue Highgate – 977/2020/C2	118-156
5.	177 Wattle Street Malvern – 890/2020/C2	157--202
6.	31A Fisher Street Myrtle Bank – 14/2021/C2	203-231

Item No	Development Application on Appeal – CONFIDENTIAL	Page
	Motion to move into confidence	232
7.	14 Invergowrie Avenue Highgate – 721/2020/C2	-
	Motion to move out of confidence	-

Any Other Business

Matters for Council's consideration

ITEM 1
DEVELOPMENT APPLICATION – 090/958/2020/C2 – 4 FOREST AVENUE,
BLACK FOREST SA 5035 (CLARENCE PARK)

This application is no longer being considered by the Panel

ITEM 2
DEVELOPMENT APPLICATION – 090/957/2020/C2 – 5B ROBERTS STREET, UNLEY SA 5061 (UNLEY)

DEVELOPMENT APPLICATION NUMBER:	090/957/2020/C2
ADDRESS:	5B Roberts Street, Unley SA 5061
DATE OF MEETING:	20 April 2021
AUTHOR:	David Bailey
DEVELOPMENT PROPOSAL:	Erect carport and elevated deck adjacent southern boundary
HERITAGE VALUE:	Nil
DEVELOPMENT PLAN:	15 October 2020
ZONE:	Residential B300
APPLICANT:	A J Carpenter and D Carpenter
OWNER:	A J Carpenter
APPLICATION TYPE:	Merit
PUBLIC NOTIFICATION:	Category 2
REPRESENTATIONS RECEIVED:	Five oppose, one support
CAP'S CONSIDERATION IS REQUIRED DUE TO:	Unresolved representations
RECOMMENDATION:	Approval
KEY PLANNING ISSUES:	Overlooking

1. PLANNING BACKGROUND

The existing three storey semi-detached dwellings gained consent and were constructed in the mid-2000s.

2. DESCRIPTION OF PROPOSAL

The proposal is to erect a double width carport with pitched roof extending to the southern boundary and an elevated deck area.

The deck is at the same level as the dwelling's Level 1, with the deck extending from the carport's eastern face. The main deck area is set 1m off the southern boundary, with the intervening area containing supports enabling vegetation. A portion of the deck (labelled 'drying deck') extends to the southern boundary, with a 1.7m privacy screen on the southern boundary. The proposed columns on the boundary abut the Park Land creek retaining wall.

3. SITE DESCRIPTION

5B Roberts Street is a single residential allotment located on the eastern side of Roberts Street. The site is formally described as Allotment 2 in Filed Plan D81911, Certificate of Title Volume 6059 Folio 893.

A portion of the site adjacent the eastern boundary is subject to an easement. The proposal does not impact this easement. The site slopes down from west to east. There are no encumbrances or Land Management Agreements.

The subject site has a frontage of 16.8 metres to Roberts Street, a depth of 24.3 metres and a total area of 308m².

The site is occupied by a three-storey semi-detached dwelling, with the rear part of the lower portion of the dwelling an open basement area.

There are no regulated or significant trees on the site or on adjoining land that would be affected by the proposed development.







View looking west of 5B Roberts southern elevation – Photos Staff 21 January 2021

4. LOCALITY PLAN



 Subject Site
  Locality
  1 Representations

5. LOCALITY DESCRIPTION

Land uses within the locality are residential. The character is predominantly single storey detached dwellings along with groups of units to the south and east of the subject site. The units to the east are two-storey from the 1990s. Villas are a characteristic dwelling style. Front fencing is predominantly low and open.

Land in the locality gently slopes towards Park Lands creek, with the creek being a defining feature.

6. PUBLIC NOTIFICATION

Six representation/s were received as detailed below.

3/7 Roberts Street (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
Deck will provide clear view into common areas at 7 Roberts Street as well as living areas and master bedrooms of several units.	<p>Added 1.7m high screen to drying deck area.</p> <p>Proposal involves on deck planter boxes.</p> <p>Existing creek landscaping provides a level of screening.</p> <p>Existing outlook from internal living areas of 5B Roberts Street is at a greater height than the outlook anticipated from the proposed deck.</p> <p>The requested 1.8m screen would remove enjoyment of amenity of creek.</p> <p>Main areas overlooked at 7 Robert Street are common areas. Habitable rooms are outside the distance nominated in the Development Plan. The private open spaces are to the rear of 7 Roberts Street and not overlooked by the proposal.</p> <p>7 Roberts Street has no boundary fencing with the Park Lands creek.</p>
1/7 Roberts Street (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
Privacy impacted by deck height above creek wall, open balustrading and risk of temporary nature of landscaping due to ageing trees in	(as above)

creek. Seek 1.8m screen.	
ISSUES RAISED	APPLICANTS RESPONSE
Deck impact privacy and amenity. Seek 1.8m screen.	(as above)
6/7 Roberts Street (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
Deck impact privacy and amenity. Seek 1.8m screen.	(as above)
1/5 Roberts Street (oppose)	
ISSUES RAISED	APPLICANTS RESPONSE
Deck increases risk of overlooking into rear garden and living room. Seek higher screening along eastern edge.	After discussion with representor, agreed to increase height and length of screening on the boundary fence
15 Miller Street (support)	
ISSUES RAISED	APPLICANTS RESPONSE
Support the proposal	(no response)

(* denotes non-valid planning considerations)

7. DEVELOPMENT DATA

Site Characteristics	Description of Development	Development Plan Provision
Building Characteristics		
Site Coverage		
Roofed Buildings	50%	<input type="checkbox"/> 50% of site area
Total Impervious Areas	63%	<input type="checkbox"/> 70% of site <input type="checkbox"/>
Colours and Materials		
Carport	Pitched colorbond roof and timber framework to match existing.	(no requirement)
Deck	Steel framed balcony with scyon floor. Timber handrail	(no requirement)

(items in **BOLD** do not satisfy the relevant Principle of Development Control)

8. ASSESSMENT

Zone Desired Character and Principles of Development Control

Residential B300 Zone
<i>Objective 1: Provision for a range of dwelling types of up to two storeys compatible in form, scale and design with the existing positive elements of the character of the area</i>
Desired Character
<p><i>Existing Features</i> The Residential B300 Zone includes the suburbs of Unley and most parts of Parkside, Wayville, Hyde Park, and Goodwood. It also contains parts of the suburbs of Malvern, Highgate and Kings Park on Cross Road and portion of Myrtle Bank and Fullarton.</p> <p><i>Allotments contained within this Zone were created over an extended period from the initial development in Unley in 1845 to some of the more recent initial subdivisions in Myrtle Bank in 1937. Throughout the Zone the grid pattern provides access to a large variety of allotment sizes. The Zone covers much of the early urban area of Unley which began as an agricultural village and became a dormitory village for City workers.</i></p> <p><i>Desired Character</i> This Zone is intended to continue as an established and attractive housing area offering a variety of dwelling types of not more than two storeys on a range of allotment sizes over much of the Unley area.</p> <p><i>All types of single storey and two-storey housing development in this Zone should ensure that the character and levels of amenity of the locality enjoyed by existing residents is substantially maintained.</i></p> <p><i>Housing Types</i> A wide variety of housing types is evident in the Residential RB300 Zone. Development should reflect the type and appearance of housing in its immediate environs having regard to wall heights, roof forms, use of and style of verandahs, external materials, proportions and areas of windows and front and side boundary set-backs.</p> <p><i>It is intended to continue as an established residential area containing a variety of sound, existing dwellings on individual allotments with limited and appropriate infill, mainly in the form of semidetached dwellings and other forms of infill housing on larger sites or sites containing uses incompatible with living areas or unsound dwellings. Areas adjoining tram and train stations and Cross Road may be most suitable for development.</i></p> <p><i>Streetscape</i> The balance between trees and planting and built form as dominant elements in the Zone varies from locality to locality. Development should respond to both elements ensuring a high standard of compatible built form as well as tree planting and landscaping which maintains and improves the appearance of the locality</p>
Assessment

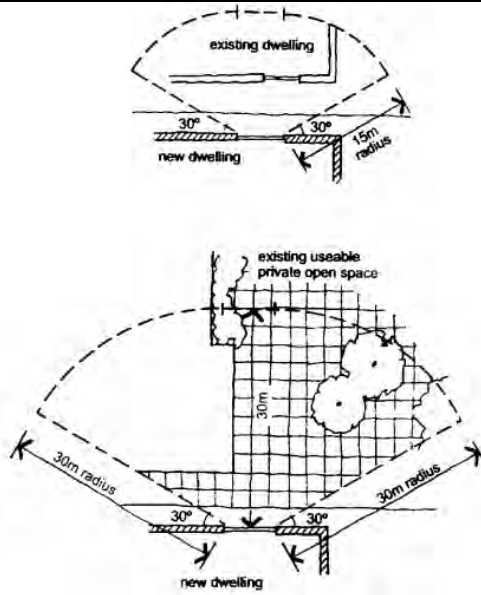
The pitch roofed carport is an ancillary addition to the existing dwelling. It is setback behind the main dwelling face and involves a form and materials to match the dwelling. The carport will sit comfortably within the streetscape.

The proposed deck is an extension of the internal living space of the dwelling. The deck will enable better enjoyment of the dwelling's principal internal living areas by having direct access to an external deck area. This improves the liveability of the dwelling for its occupants.

Relevant Council Wide Objectives and Principles of Development Control

Relevant Council Wide Provisions	Assessment
Residential Development	
<p>8 A garage, carport or outbuilding should be setback from the primary street frontage:</p> <ul style="list-style-type: none"> (a) at least 1.0 metres further than the setback of the associated dwelling; (b) no closer than the front alignment of walls of the associated dwelling if the dwelling incorporates street facing attached verandahs, porticos and similar structures; (c) at least 5.5 metres where a car parking space is required within the driveway. 	Satisfies
<p>15 Garages, carports, verandahs, pergolas, outbuildings and like structures should be sited and designed to be ancillary to the dwelling and not visually dominate the locality and should:</p> <ul style="list-style-type: none"> (a) site any solid wall at least 600 millimetres off the boundary or on the boundary (b) site boundary walls immediately abutting other adjacent walls and have the same or lesser length and height (c) have a minimum setback of 1.8 metres for solid walls or a minimum setback of 0.9 metres for an open sided structure to a habitable room window of an adjacent dwelling (d) have a minimum distance of 3 metres to any other attributable walls on the boundary (e) be sited clear of easements and the canopy of significant trees, where practicable. 	Satisfies
<p>19 Private and communal open space should be provided as part of a residential development to:</p> <ul style="list-style-type: none"> (a) create outdoor living areas; (b) provide 'soft' landscapes within an urban setting; (c) allow reasonable entry of natural light; (d) provide opportunities for permeable areas to allow for on-site water harvesting and aquifer recharge; (e) facilitate landscaping, food production and backyard biodiversity. 	<p>Satisfies</p> <p>The deck enables a direct relationship between internal and external spaces. The deck is of a size to be usable.</p>

<p>20 Private open space should be provided for each dwelling and sited and designed to be:</p> <ul style="list-style-type: none"> (a) located adjacent or behind the primary street facing building facade and be exclusive of storage areas, outbuildings, carports, driveways, parking spaces and roofed pergolas and associated structures; (b) screened from public areas and adjoining properties with fencing of not less than 1.8 metres above finished ground level; (c) sited to receive direct winter sunlight; (d) of sufficient area with a minimum of 20 percent of the site area (>300 square metre site area per dwelling) and 35 square metres (≤300 square metres site area per dwelling) within a residential zone and 20 square metres for each site within a non-residential zone; (e) useable for residents and visitors with a minimum of 4 metres (residential zone) and 3 metres (non-residential zone) in any one direction, a maximum grade of 1:10, and directly accessible from a habitable room. 	<p>Soft landscaping is also enabled by the deck's siting.</p> <p>The expansion of solid surfaces by way of the carport and the deck still enables the whole site to meet site coverage and permeability principles.</p>
<p>38 Direct overlooking from upper level (above ground floor level) habitable room windows and external balconies, roof patios, terraces and decks to habitable room windows and useable private open space of other dwellings should be minimised through adoption of one or more of the following:</p> <ul style="list-style-type: none"> (a) building layout; (b) location and design of windows, balconies, roof patios and decks; (c) screening devices; (d) adequate separation distances; (e) existing landscaping and supplementary screen tree planting. <p>39 To maintain a reasonable level of visual privacy to adjacent residential properties the following measures are sought:</p> <ul style="list-style-type: none"> (a) orientate and stagger windows and upper level viewing areas to prevent direct views into adjoining property indoor and outdoor living areas; (b) obscure viewing by raising window sills or incorporating obscure glass windows to a height at least 1.7 metres above floor level; (c) use permanently fixed external screening devices such as screens, fences, wing walls, panels, planter boxes or similar measures adequate to restrict 120 degree views; (d) provide a separation distance of 15 metre radius to windows of habitable rooms in potentially impacted dwellings and 30 metre radius to private open space as described in the Figure below; (e) incorporate plants capable of providing and seasonally sustaining a privacy screen. 	<p>Satisfies.</p> <p>The Development Plan seeks that direct and unreasonable overlooking of habitable room windows and private open spaces of other dwellings be minimised.</p> <p>One way of achieving minimising overlooking is via separation, regarding which the Development Plan envisages 15m.</p> <p>The proposed deck is sited a distance further than 15m from habitable room windows at 7 Roberts Street.</p>



Area likely to be primarily affected by overlooking from upper level windows, balconies and decks.

Noting the Park Lands Creek is under public care and control, the Creek contains numerous trees providing an additional level of screening.

Recognising on site landscaping can vary in health over time, and with different occupants, the proposal envisages planter tubs on the deck.

It is also noted that an outlook exists from within Level 1 of the dwelling currently. The deck sites this outlook closer than currently exists.

If to be consented, a condition is recommended that the screening works – including on the fence with 1/5 Robert Street, be completed prior to occupation of the development.

9. DISCUSSION

The carport is designed to sit comfortably within the streetscape. The deck enables better use of the internal living space. Recognising that outlook from the dwelling exists and the deck brings this closer to the dwellings to the south, the deck nonetheless is sited a distance to meet the separation sought in the Development Plan. It is recognised that a level of screening is provided by trees in Park Lands Creek, under public care and control.

The front yard areas at 7 Roberts are common spaces open to all residents and visitors to 7 Roberts Street. The common space is readily viewed from Roberts Street itself. The deck enables closer viewing of the common space, but given distance and incidental screening from the trees, direct and unreasonable overlooking into habitable rooms at 7 Roberts is avoided.

10. CONCLUSION

In summary, the application is not considered to be seriously at variance with the Development Plan and is considered to satisfy the provisions of the Development Plan for the following reasons:

- The carport sits comfortably in the streetscape as desired in the RB300 Zone
- The deck enables better use of internal living spaces and is sited and designed to minimise overlooking.

The application is therefore recommended for Development Plan CONSENT.

11. RECOMMENDATION

MOVED:

SECONDED:

That Development Application 090/957/2020/C2 at 5B Roberts Street, Unley SA 5061 to 'Erect carport and elevated deck adjacent southern boundary is not seriously at variance with the provisions of the City of Unley Development Plan and should be GRANTED Planning Consent subject to the following conditions:

DEVELOPMENT PLAN CONSENT DETAILS OF DECISION:

1. The Development herein approved shall be undertaken in accordance with all plans, drawings, specifications and other documents submitted to Council and forming part of the relevant Development Application except where varied by conditions set out below (if any) and the development shall be undertaken to the satisfaction of Council.
2. That screening treatment be added to the boundary fence with 1/5 Roberts Street prior to the occupation of the deck to the reasonable satisfaction of Council, and that such screening treatment be kept in place at all times.

NOTES PERTAINING TO DEVELOPMENT PLAN CONSENT:

- It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly

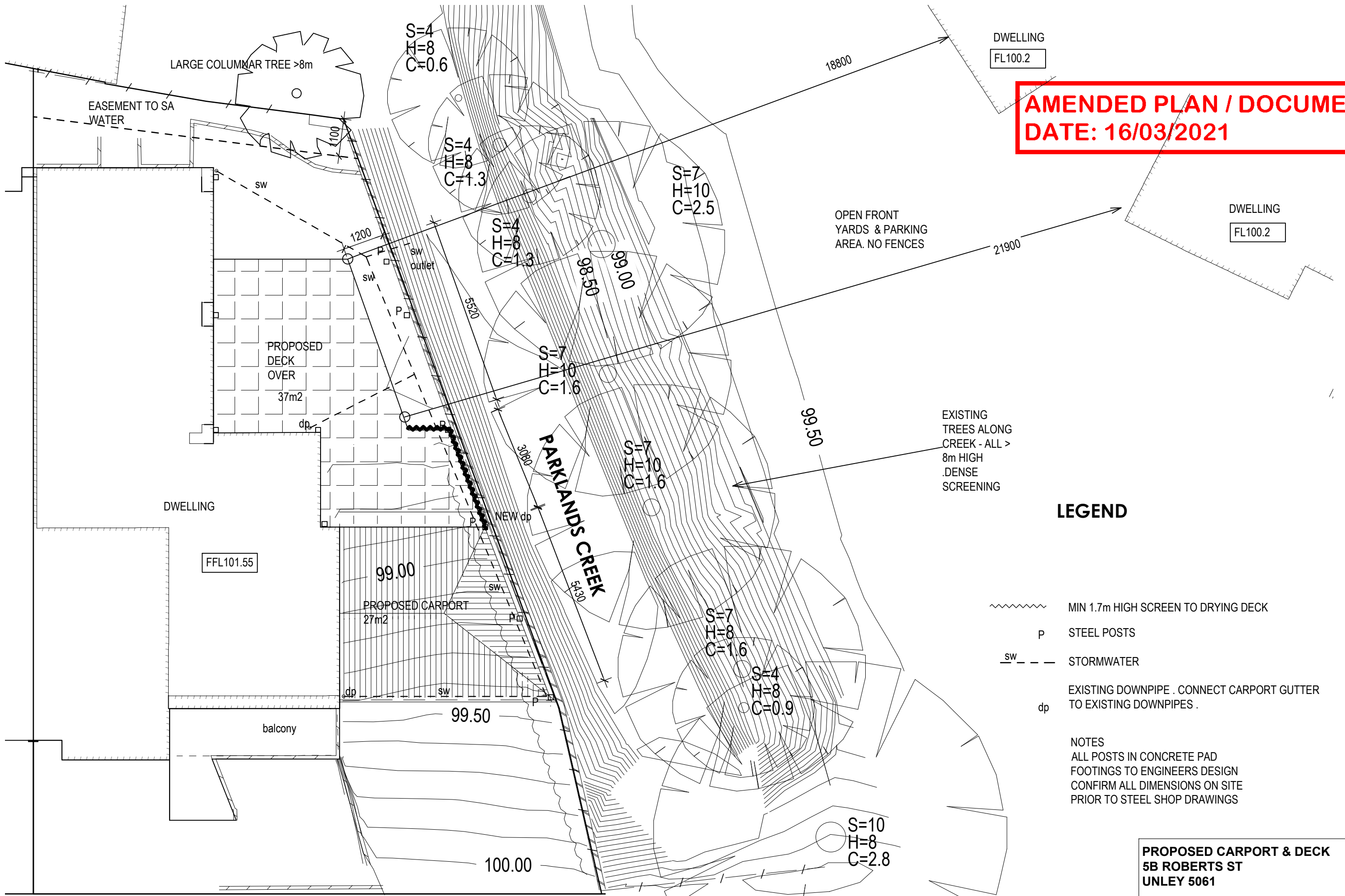
defined, by a Licensed Surveyor, prior to the commencement of any building work.

- The applicant is reminded of the requirements of the Fences Act 1975. Should the proposed works require the removal, alteration or repair of an existing boundary fence or the erection of a new boundary fence, a 'Notice of Intention' must be served to adjoining owners. Please contact the Legal Services Commission for further advice on 1300 366 424 or refer to their web site at www.lsc.sa.gov.au.

List of Attachments		Supplied By:
A	Application Documents	Applicant
B	Representations	Administration
C	Response to Representations	Applicant

ATTACHMENT A

**AMENDED PLAN / DOCUMENT
DATE: 16/03/2021**



LEGEND

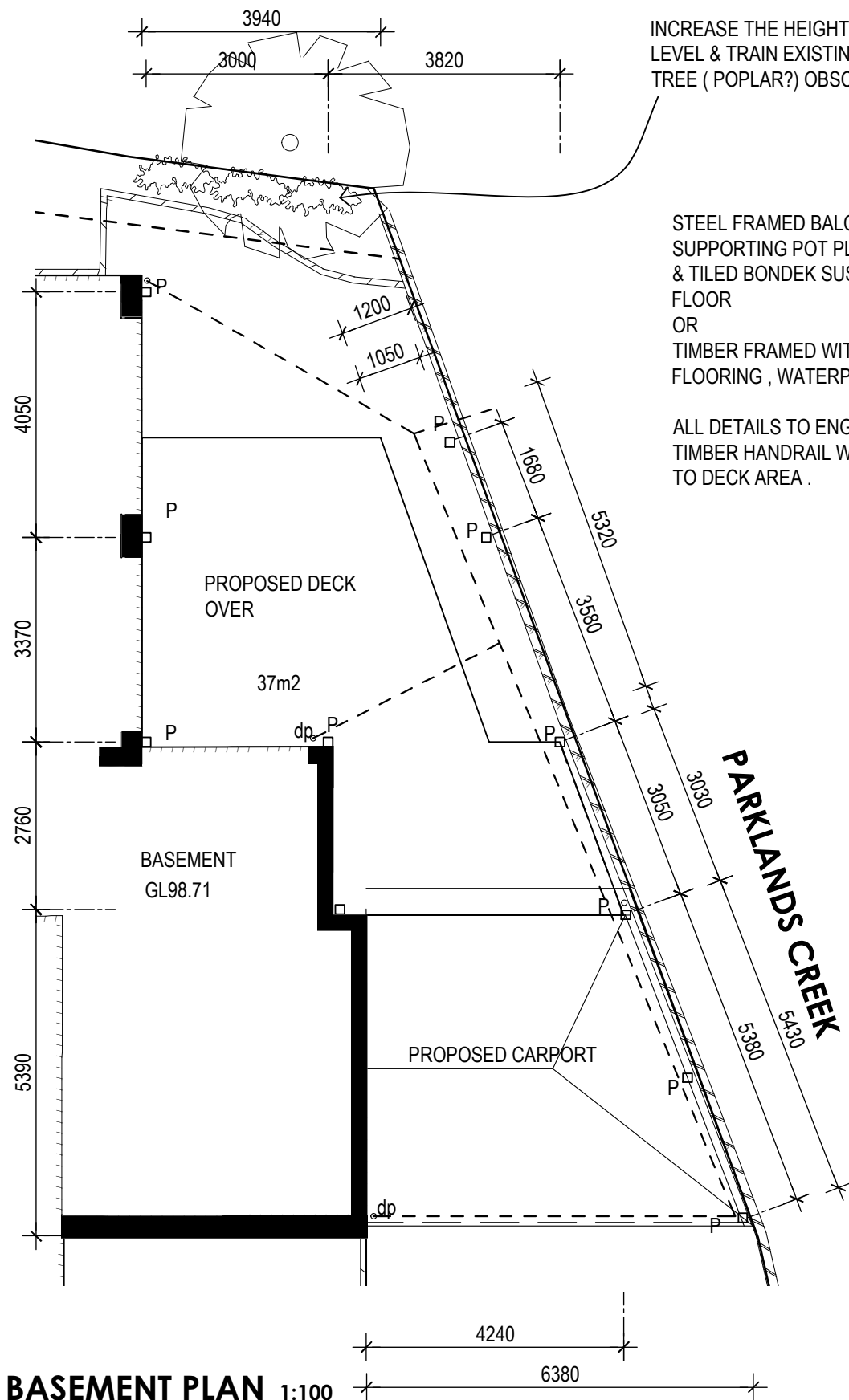
- ~~~~~ MIN 1.7m HIGH SCREEN TO DRYING DECK
- p STEEL POSTS
- sw --- STORMWATER
- dp EXISTING DOWNPIPE . CONNECT CARPORT GUTTER TO EXISTING DOWNPIPES .

NOTES
 ALL POSTS IN CONCRETE PAD FOOTINGS TO ENGINEERS DESIGN
 CONFIRM ALL DIMENSIONS ON SITE PRIOR TO STEEL SHOP DRAWINGS

**PROPOSED CARPORT & DECK
5B ROBERTS ST
UNLEY 5061**

CONTENTS>PLAN
 SCALE> 1:100
 DATE> MAR 21
 DRAWING NUMBER>P1

SITE PLAN 1:100



INCREASE THE HEIGHT OF LATTICE ON EXISTING FENCE TO 1.7m ABOVE DECK LEVEL & TRAIN EXISTING STAR JASMINE OVER IT . EXISTING LARGE COLUMNAR TREE (POPLAR?) OBSCURES MAJORITY OF NEIGHBOURING YARD

STEEL FRAMED BALCONY , CAPABLE OF SUPPORTING POT PLANTS . WATER PROOFED & TILED BONDEK SUSPENDED CONCRETE FLOOR
 OR
 TIMBER FRAMED WITH SCYON SECURA SHEET FLOORING , WATERPROOFED & TILED

ALL DETAILS TO ENGINEERS SPECS
 TIMBER HANDRAIL WITH WIRE BALUSTRADE TO DECK AREA .

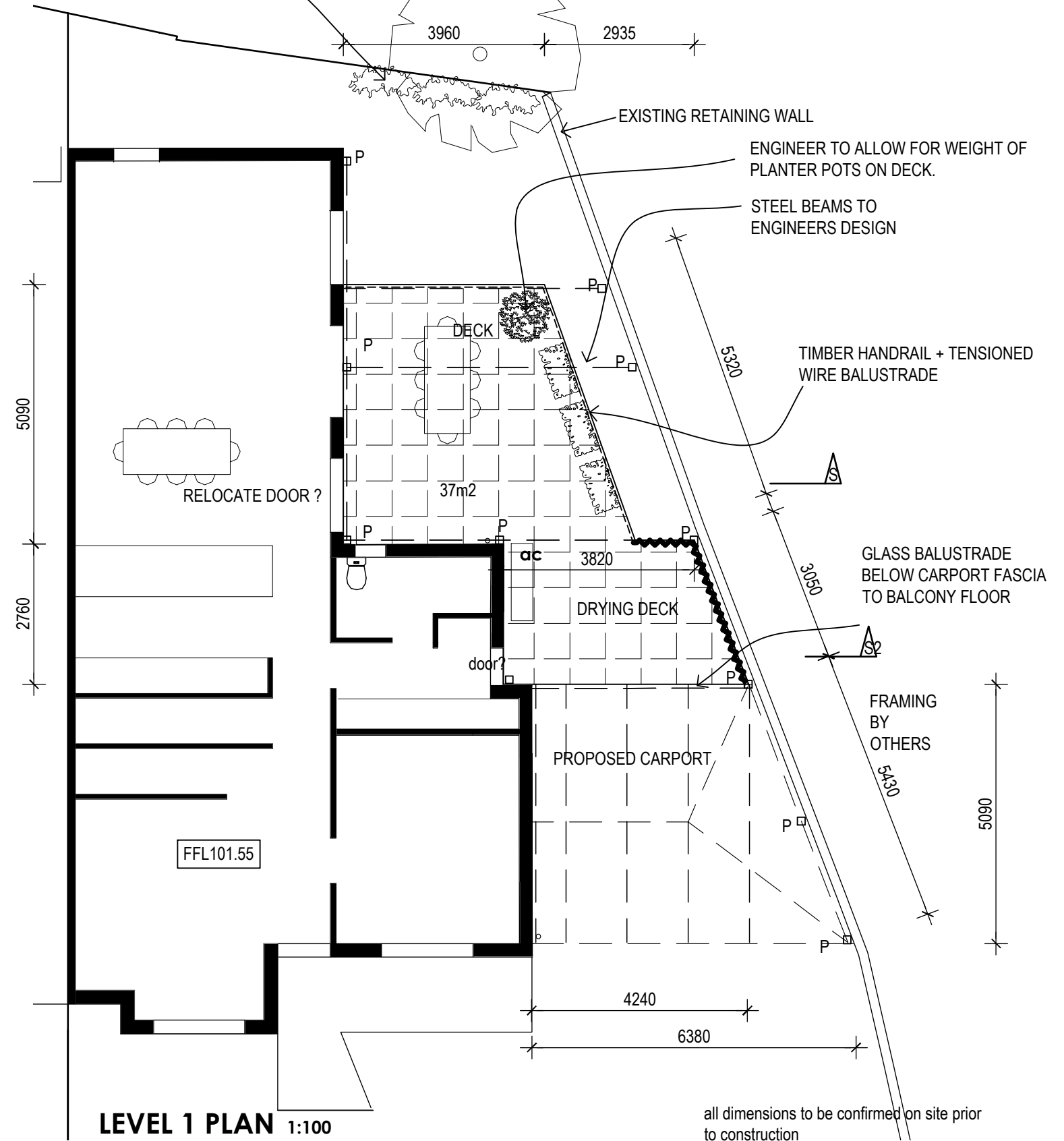
PARKLANDS CREEK

BASEMENT PLAN 1:100

LEGEND

- P STEEL POSTS
- STEEL BEAMS AS PER ENGINEER
- dp EXISTING DOWNPIPE . CONNECT CARPORT GUTTERS TO THESE

~~~~~  
 1.7M SCREEN TO DRYING DECK .  
 SUGGESTIONS - OPAQUE GLASS ; LASER CUT SCREEN WITH MAX 25mm APERTURES ; ALUMINIUM SLATS ; TIMBER SLATS



EXISTING RETAINING WALL

ENGINEER TO ALLOW FOR WEIGHT OF PLANTER POTS ON DECK.

STEEL BEAMS TO ENGINEERS DESIGN

TIMBER HANDRAIL + TENSIONED WIRE BALUSTRADE

GLASS BALUSTRADE BELOW CARPORT FASCIA TO BALCONY FLOOR

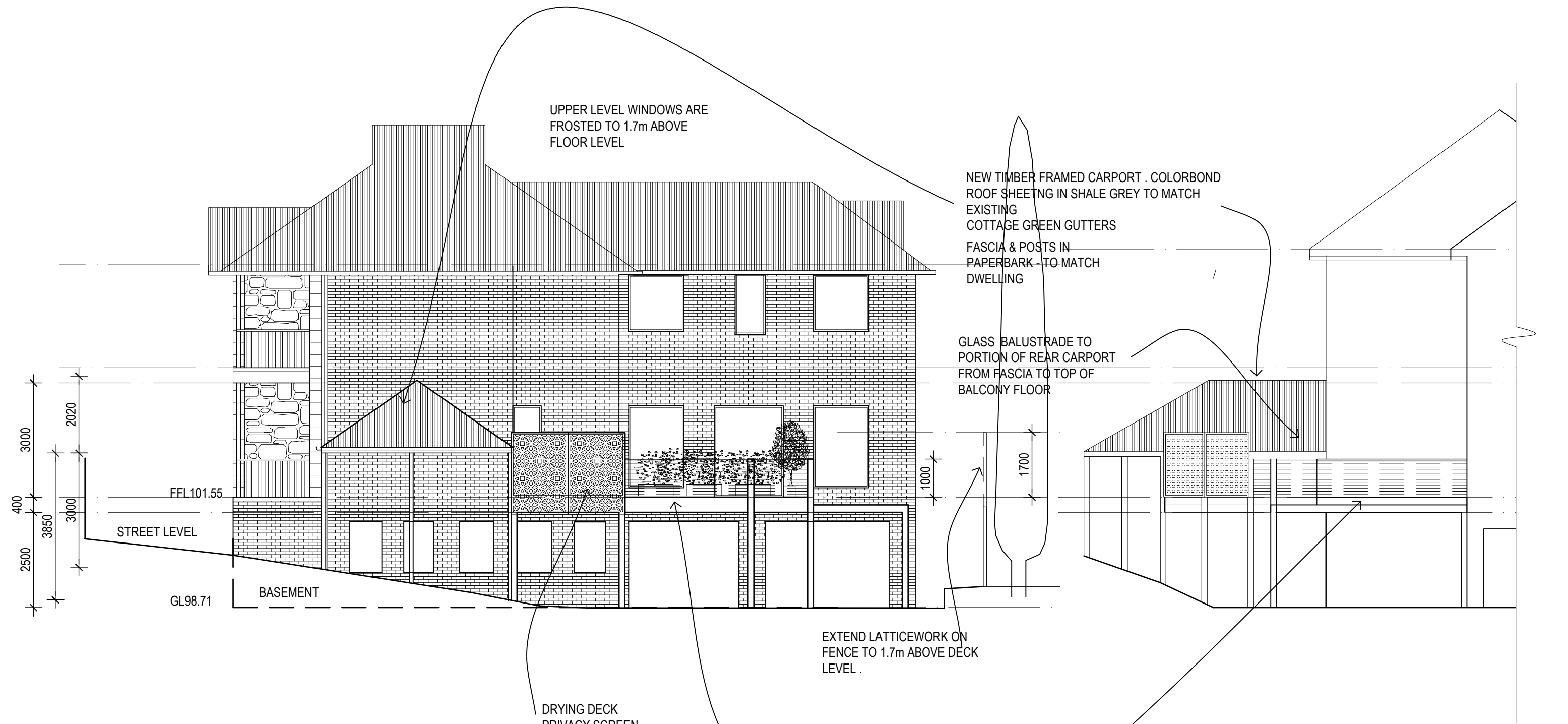
FRAMING BY OTHERS

**LEVEL 1 PLAN 1:100**

all dimensions to be confirmed on site prior to construction

**PROPOSED CARPORT & DECK**  
**5B ROBERTS ST**  
**UNLEY 5061**

CONTENTS>PLAN  
 SCALE> 1:100  
 DATE>MAR21  
 DRAWING NUMBER>P2



**SOUTH ELEVATION 1:100**

**EAST ELEVATION 1:100**

NOTE : DECK LEVEL IS APPROX 1m ABOVE STREET LEVEL

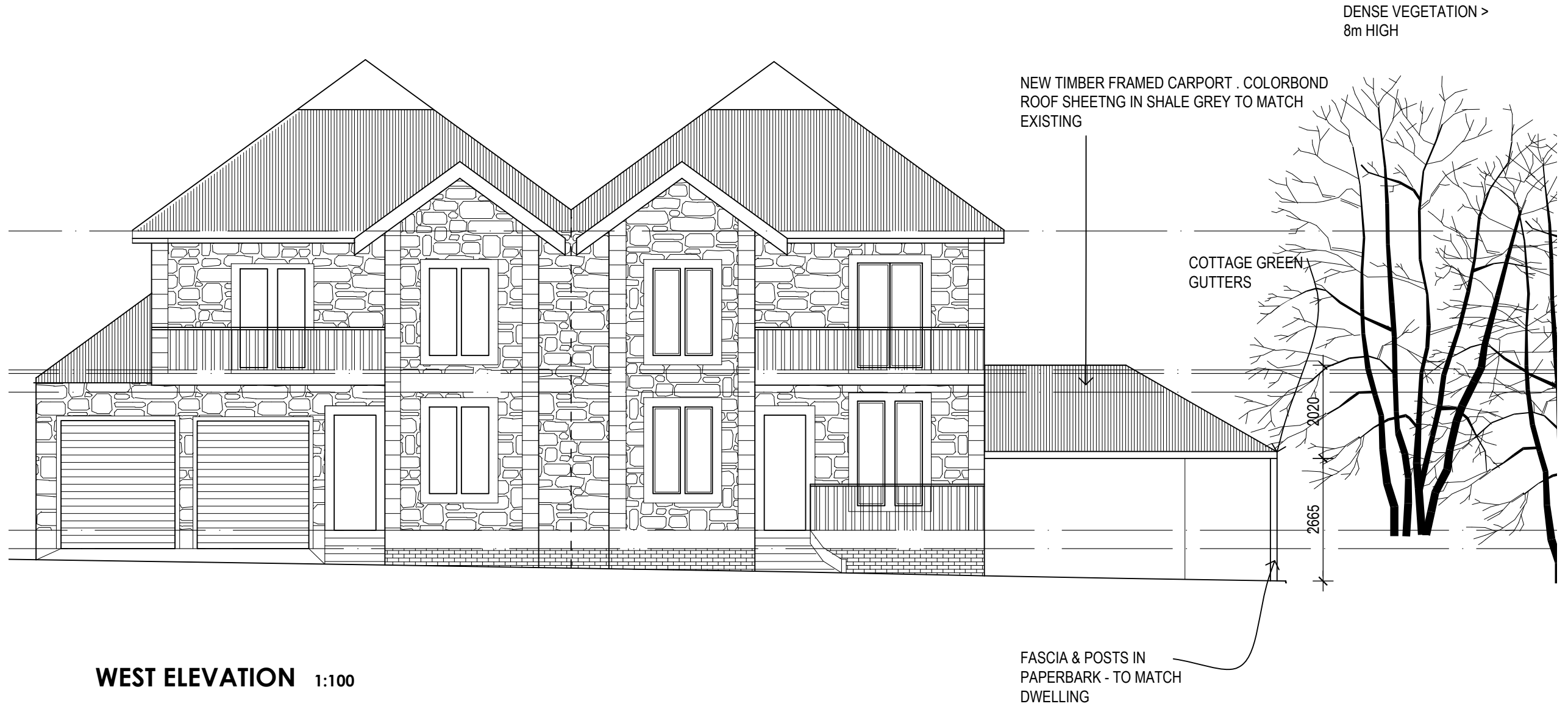
DRYING DECK  
 PRIVACY SCREEN TO 1.7m  
 LASER CUT PANEL ;  
 LOUVRED SLAT SCREEN  
 (ALUMINIUM)  
 TIMBER SLAT SCREEN OR  
 OPAQUE GALSS

NEW STEEL FRAMED BALCONY  
 WITH TILED FLOOR . TIMBER  
 HANDRAIL + TENSIONED WIRE  
 BALUSTRADE . POTTED PLANTS TO  
 BALCONY

all dimensions to be confirmed on site prior to construction

**PROPOSED CARPORT & DECK**  
**5B ROBERTS ST**  
**UNLEY 5061**

CONTENTS>ELEVATION  
 SCALE> 1:100  
 DATE> MAR21  
 DRAWING NUMBER>P3

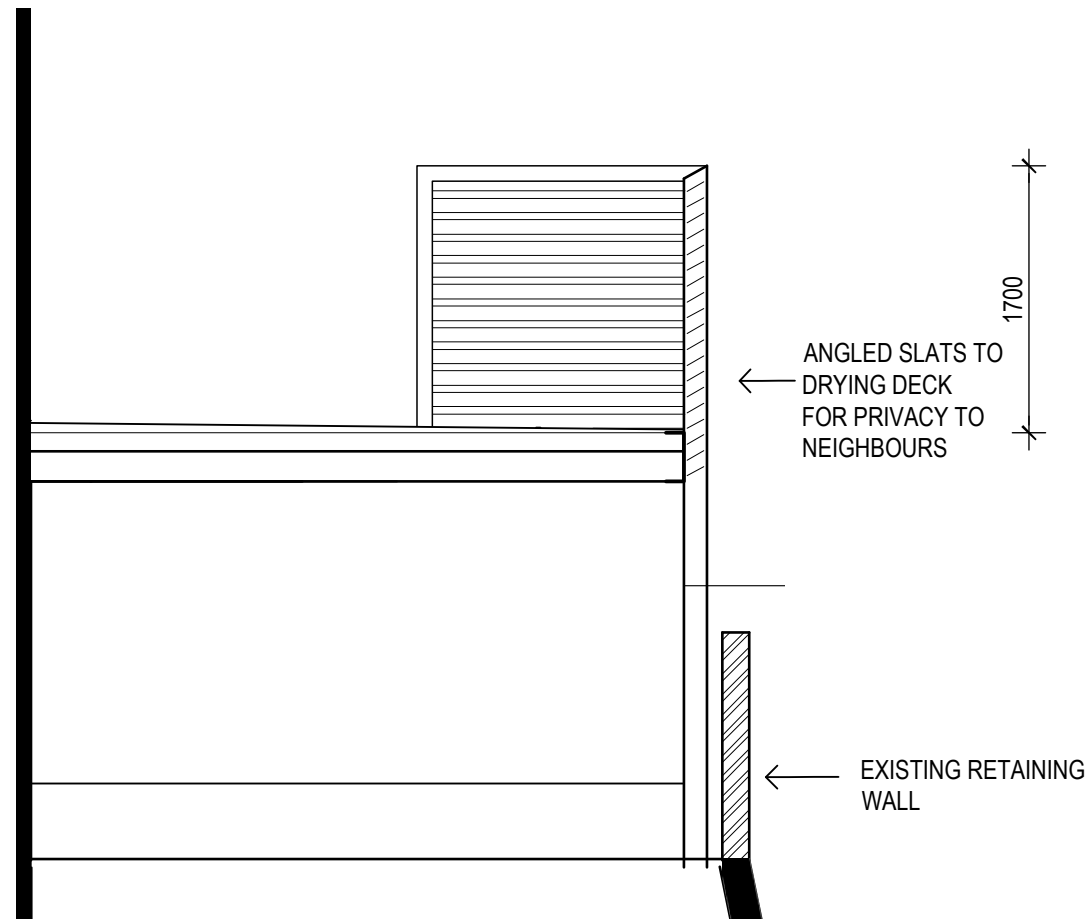


**WEST ELEVATION** 1:100

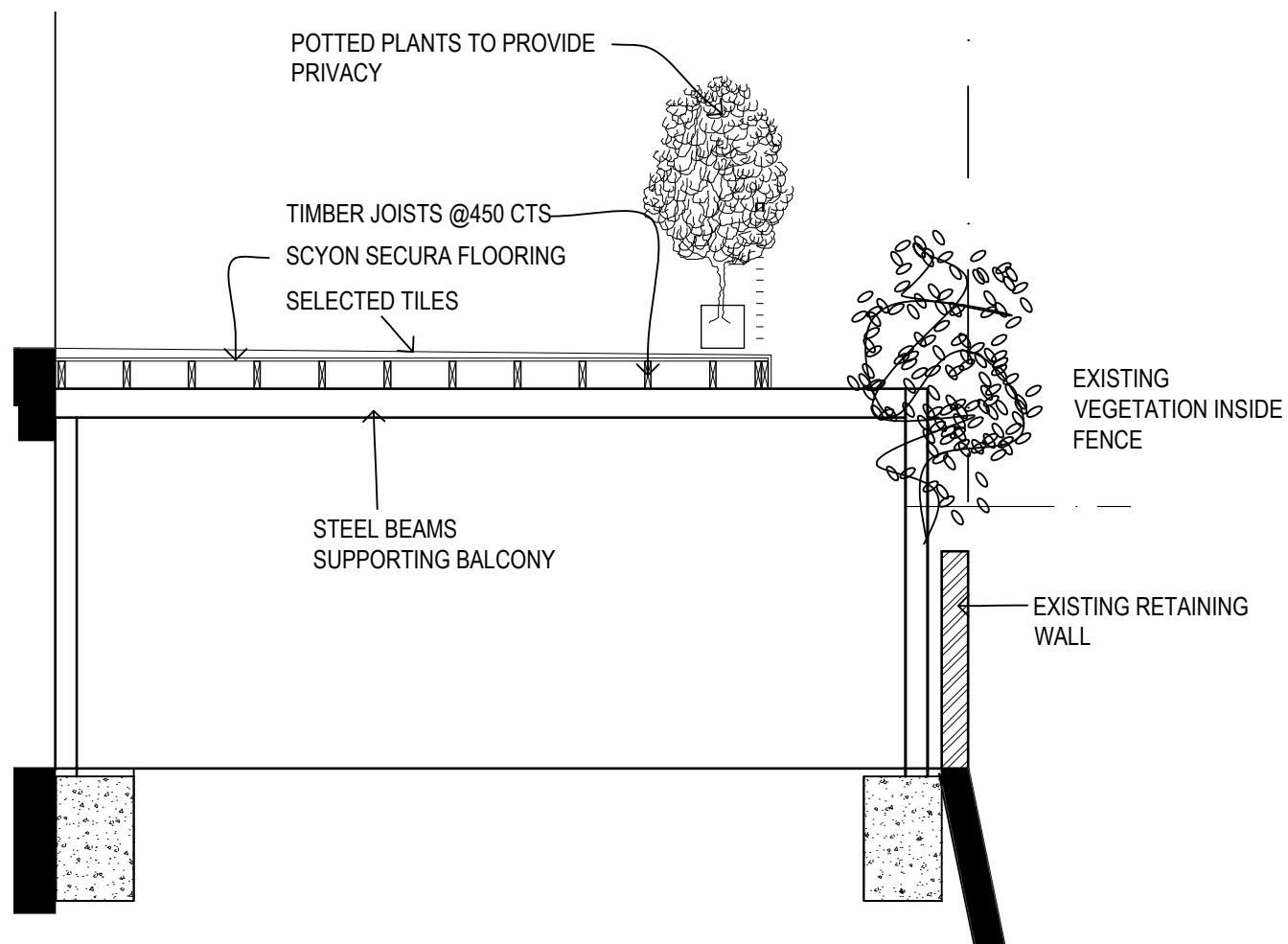
all dimensions to be confirmed on site prior  
to construction

**PROPOSED CARPORT & DECK**  
**5B ROBERTS ST**  
**UNLEY 5061**

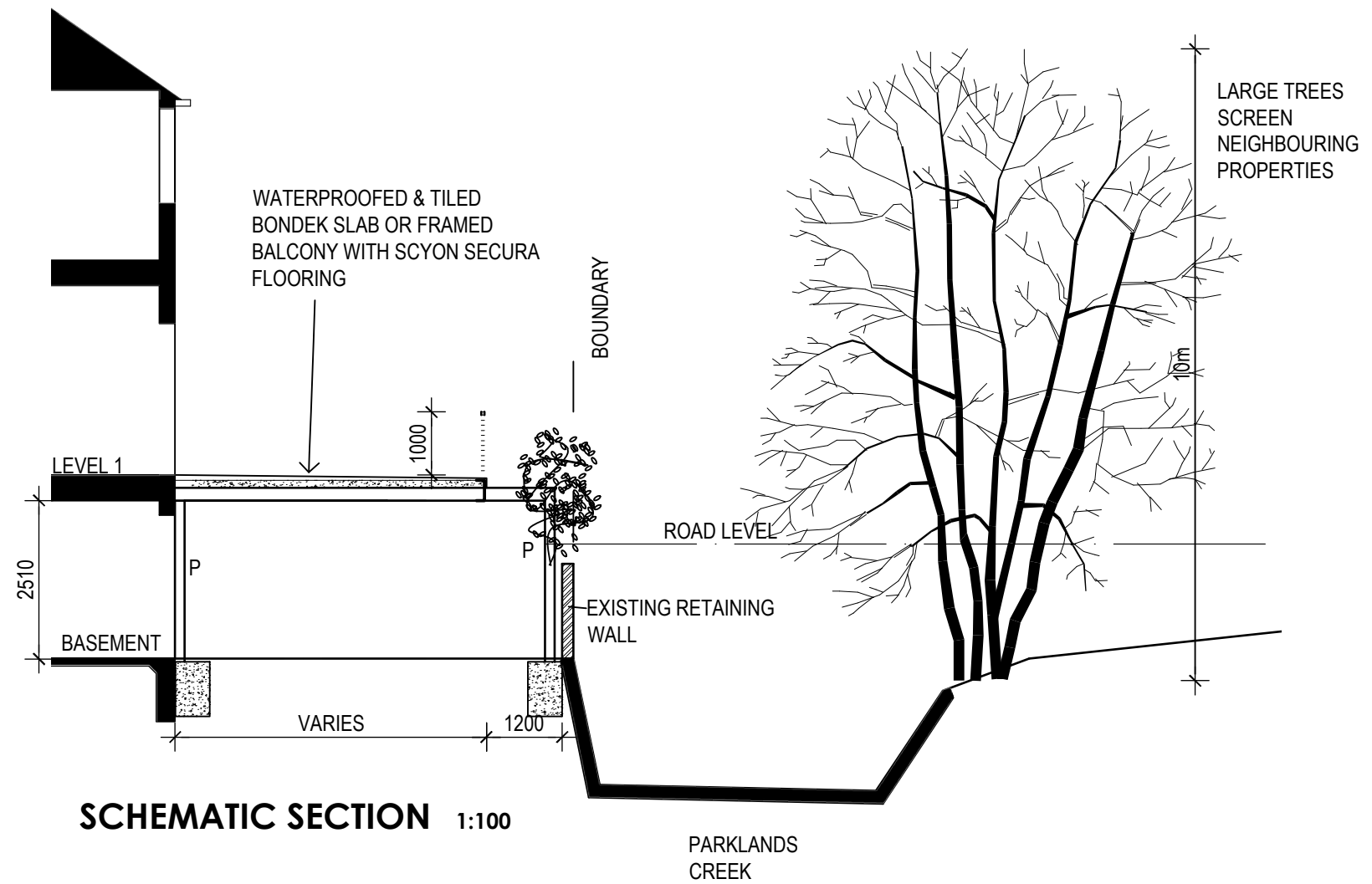
CONTENTS>ELEVATION  
SCALE> 1:100  
DATE> MAR 21  
DRAWING NUMBER>P4



**S2 - DRYING DECK 1:50**



**SECTION - FRAMED OPTION 1:50**



**SCHEMATIC SECTION 1:100**

STEEL FRAMED BALCONY , CAPABLE OF SUPPORTING POT PLANTS . WATER PROOFED & TILED BONDEK SUSPENDED CONCRETE FLOOR OR TIMBER FRAMED WITH SCYON SECURA SHEET FLOORING , WATERPROOFED & TILED

ALL DETAILS TO ENGINEERS SPECS  
 TIMBER HANDRAIL WITH WIRE BALUSTRADE TO DECK AREA .  
 POSSIBILITY OF RELOCATING LIVING ROOM ACCESS DOOR  
 OPTIONAL DECK AREA WITH ACCESS FROM THE LAUNDRY

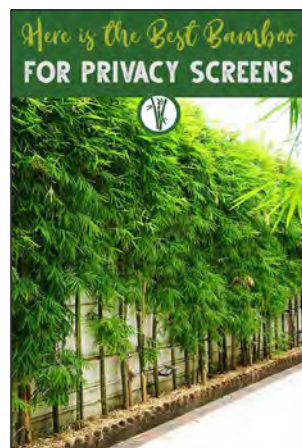
all dimensions to be confirmed on site prior to construction

**PROPOSED CARPORT & DECK**  
**5B ROBERTS ST**  
**UNLEY 5061**

CONTENTS>SECTIONS  
 SCALE> 1:50; 1:100  
 DATE>MAR 21  
 DRAWING NUMBER>P5



pencil pines



bamboo

screening along fence line . eg latticework to top of fence , screening plants such as murraya paniculata , viburnum odoratissimum, Pencil pines or non invasive bamboo eg Bambusa multiplex 'Alshose Karr'



SITE PLAN 1:2500

1.7m screen to drying deck . suggestions - opaque glass ; laser cut screen with max 25mm apertures ; aluminium slats ; timber slats

Direct overlooking from proposed deck to habitable room windows and usable private open space of dwellings at 7 Roberts st will be minimised through

1. screening devices;
  - a. 1.7m screen to drying deck (southern & eastern sides )
  - b. planter boxes on the deck are designed to provide privacy to neighbours & owners alike

2. adequate separation distances;

- c. 18m to nearest window (min 15m)
- d. open space to dwellings at 7 Roberts st is not private . there are no fences separating dwellings from each other or boundary fences

3. existing landscaping and supplementary screen tree planting. the trees & vegetation in the creek provide dense screening. the height of the deck will mean that views will be minimised by looking through canopy rather than under it

NOTE : neighbouring properties to the south are separated from proposed site by parklands creek . they are not directly adjoining .



fixed aluminium louvres

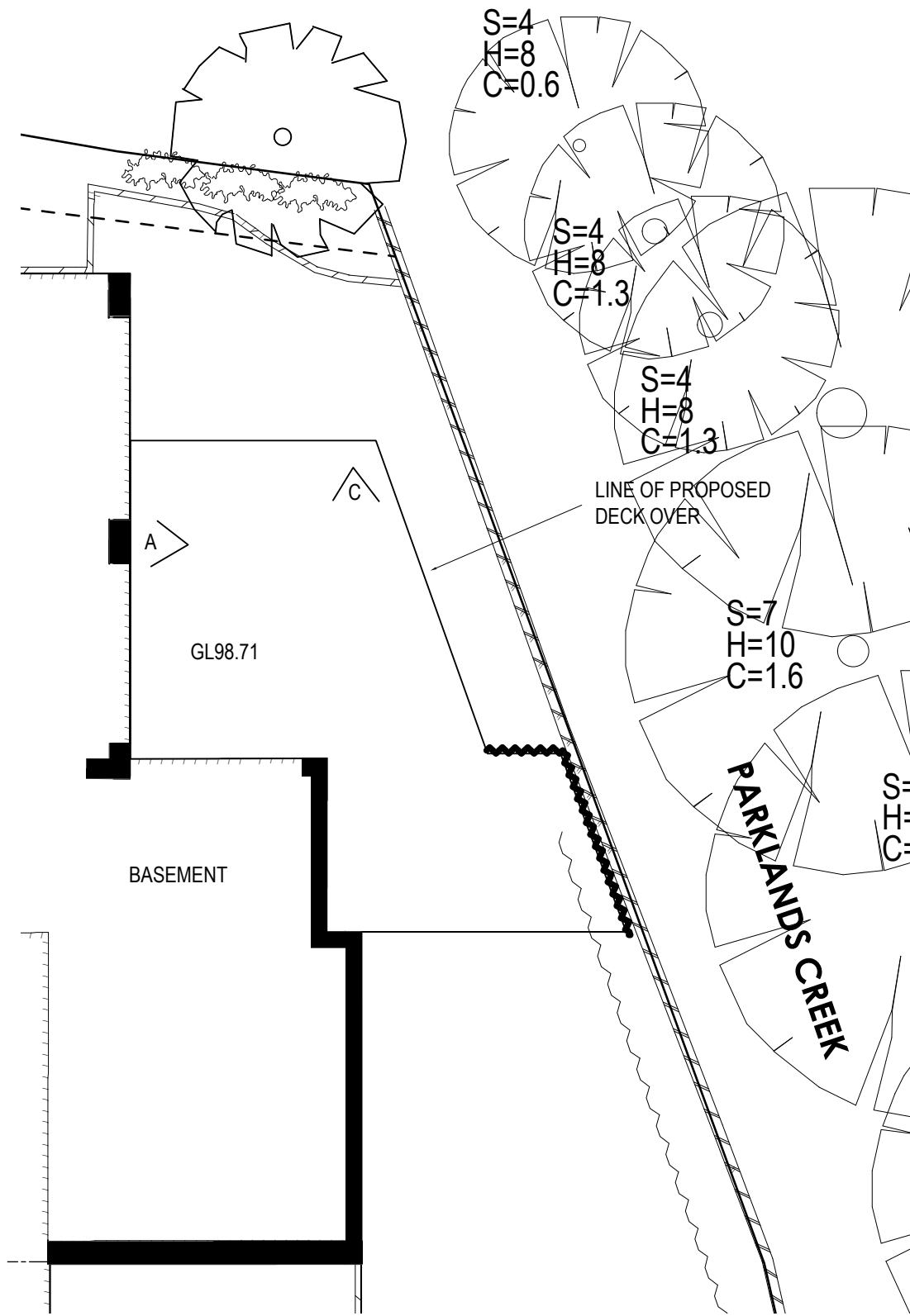


laser cut screen

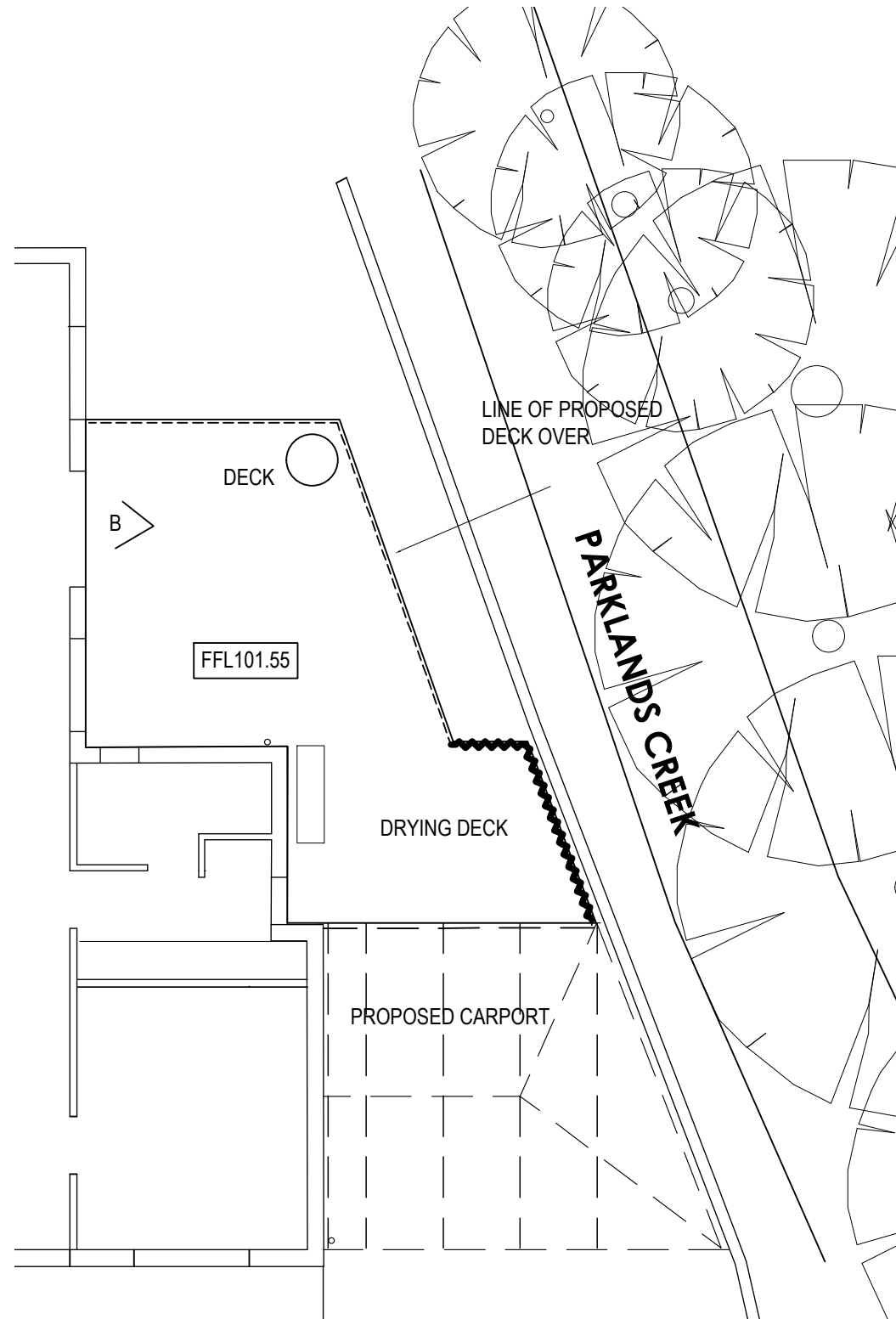
**AMENDED PLAN / DOCUMENT  
DATE: 16/03/2021**

**PROPOSED CARPORT & DECK  
5B ROBERTS ST  
UNLEY 5061**

CONTENTS>PLAN  
SCALE> 1:2500  
DATE> MAR 21  
DRAWING NUMBER>P6



**BASEMENT PHOTOGRAPH LOCATIONS**

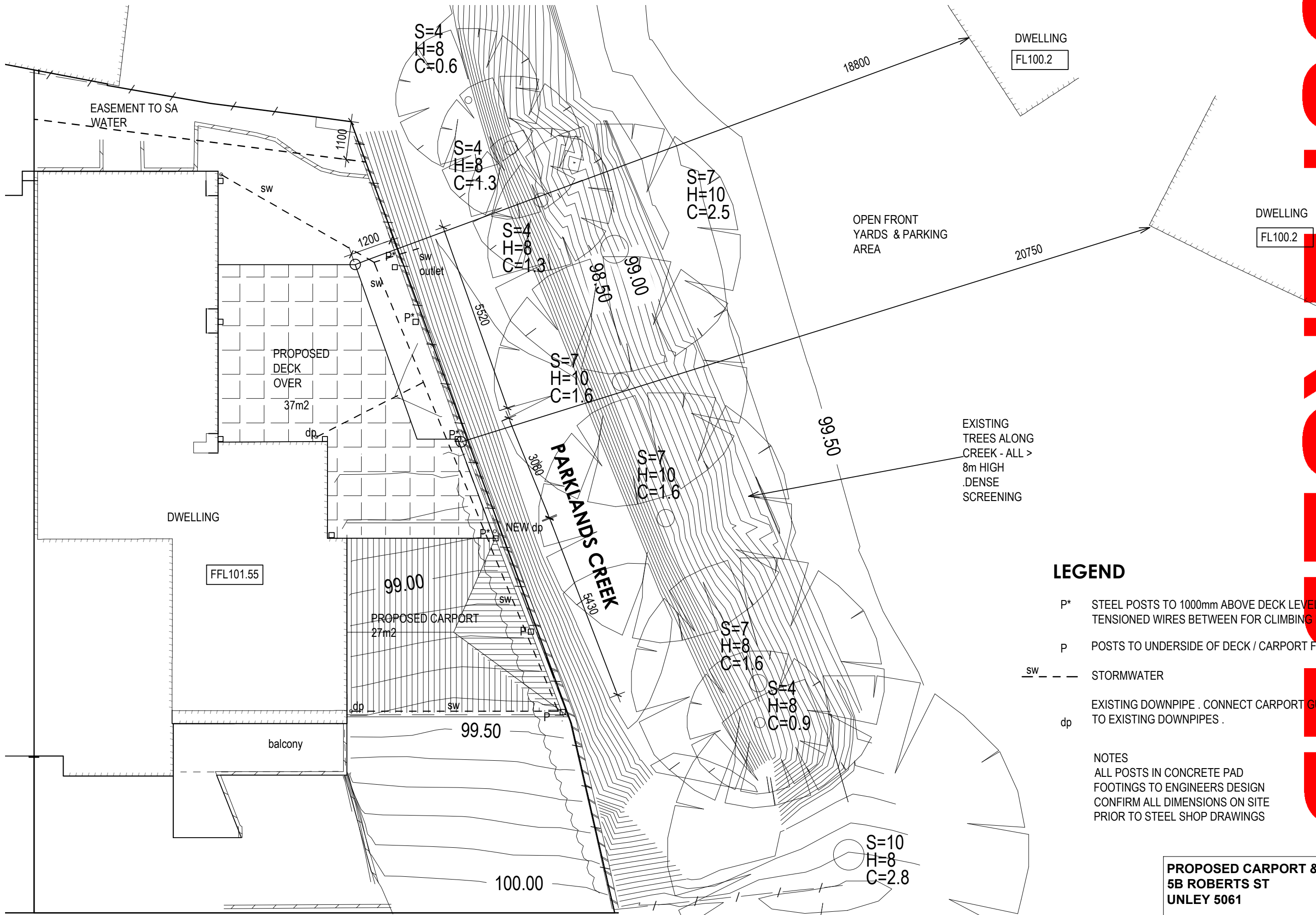


**LEVEL 1 PHOTOGRAPH LOCATION**

**AMENDED PLAN / DOCUMENT  
DATE: 16/03/2021**

**PROPOSED CARPORT & DECK  
5B ROBERTS ST  
UNLEY 5061**  
  
CONTENTS>PHOTO LOCATIONS  
SCALE> 1:100  
DATE>MAR21  
DRAWING NUMBER>P7

# SUPERSEEDED



## LEGEND

- P\* STEEL POSTS TO 1000mm ABOVE DECK LEVEL.  
TENSIONED WIRES BETWEEN FOR CLIMBING PLANTS
- p POSTS TO UNDERSIDE OF DECK / CARPORT FASCIA
- sw STORMWATER
- dp EXISTING DOWNPIPE . CONNECT CARPORT GUTTER TO EXISTING DOWNPIPES .

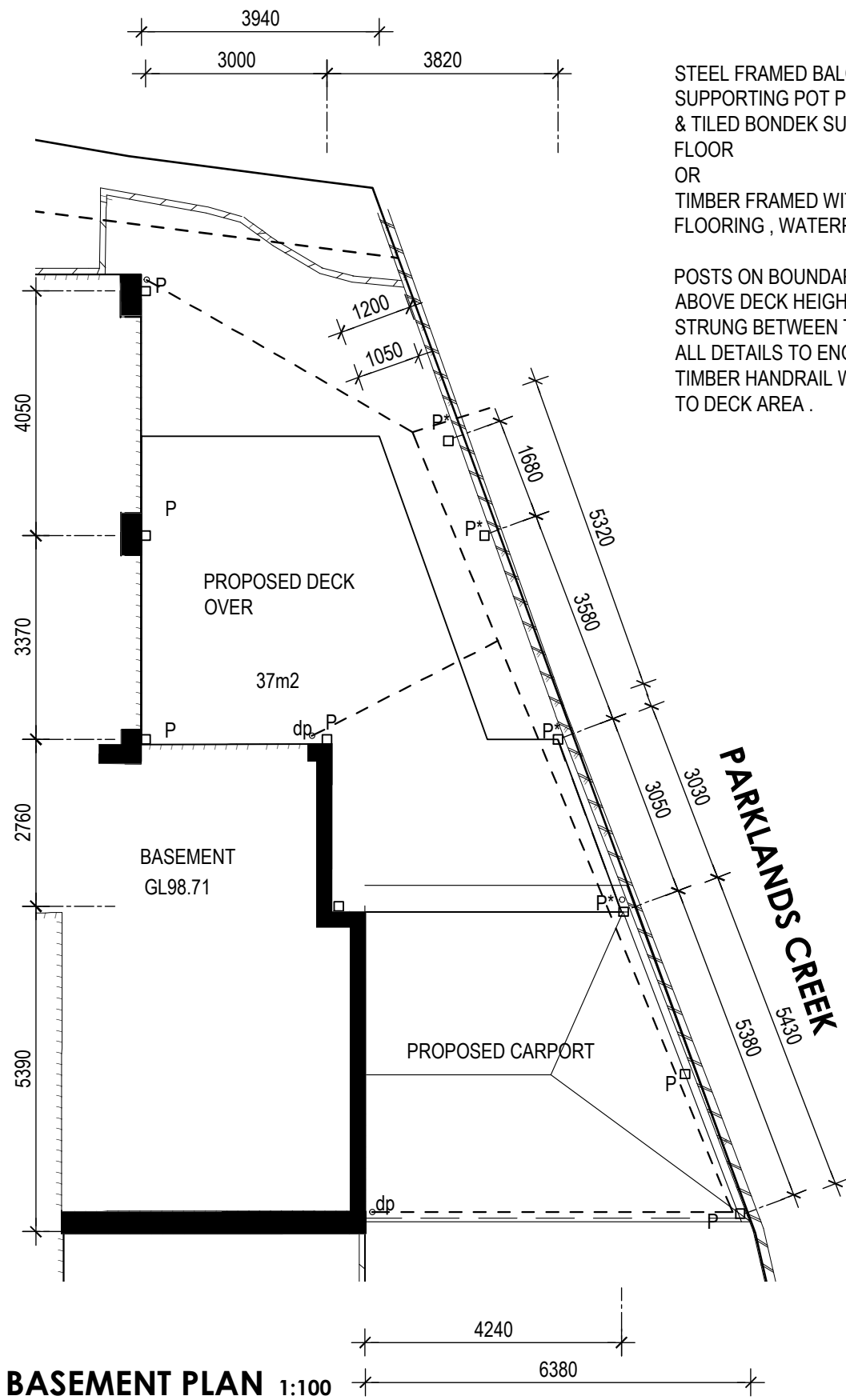
NOTES  
 ALL POSTS IN CONCRETE PAD FOOTINGS TO ENGINEERS DESIGN  
 CONFIRM ALL DIMENSIONS ON SITE PRIOR TO STEEL SHOP DRAWINGS

**PROPOSED CARPORT & DECK**  
**5B ROBERTS ST**  
**UNLEY 5061**

CONTENTS>PLAN  
 SCALE> 1:100  
 DATE> jan 21  
 DRAWING NUMBER>P1a

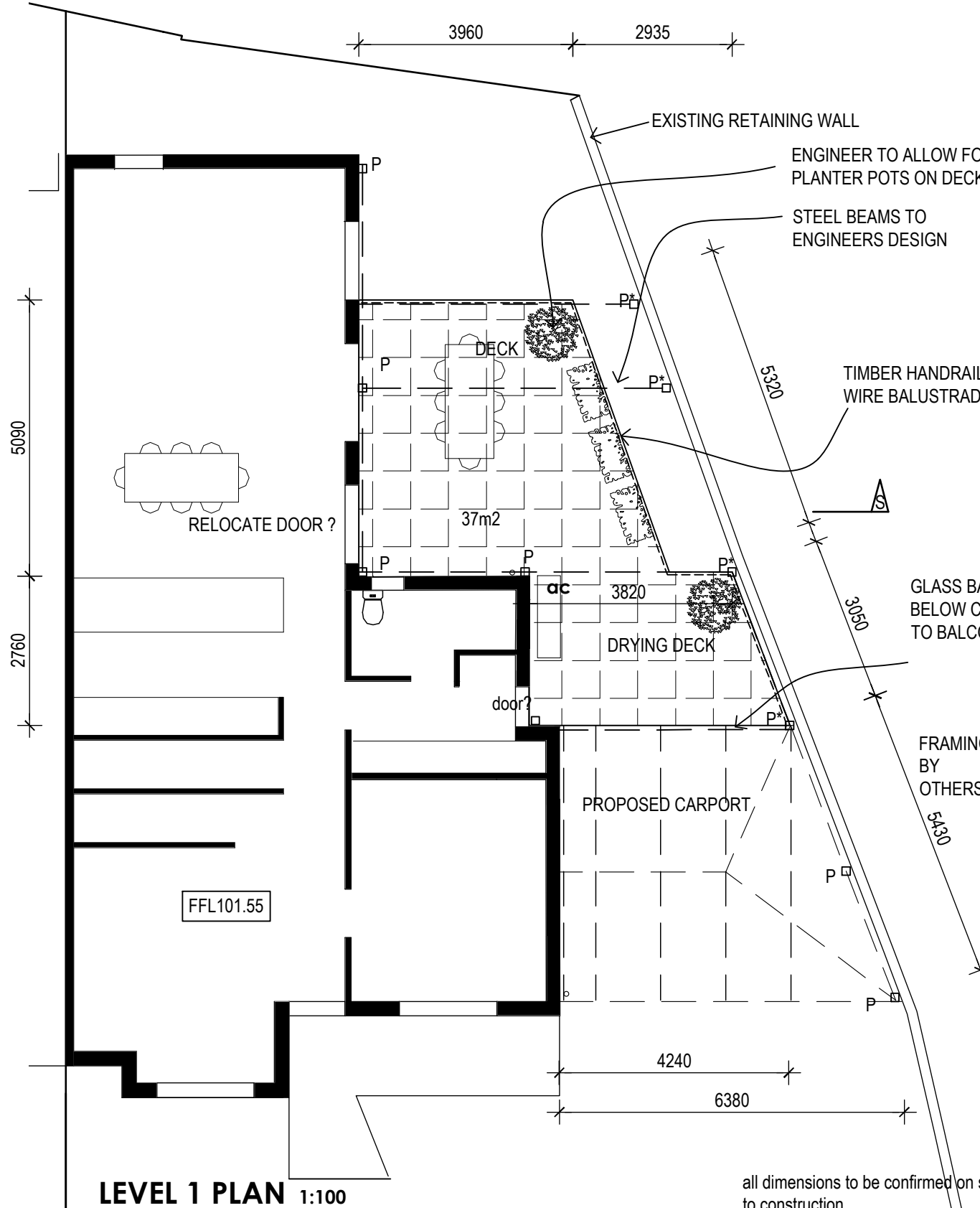
**SITE PLAN 1:100**





STEEL FRAMED BALCONY , CAPABLE OF SUPPORTING POT PLANTS .WATER PROOFED & TILED BONDEK SUSPENDED CONCRETE FLOOR  
OR  
TIMBER FRAMED WITH SCYON SECURA SHEET FLOORING , WATERPROOFED & TILED

POSTS ON BOUNDARY TO BE MIN 1000mm ABOVE DECK HEIGHT TO ALLOW WIRES TO BE STRUNG BETWEEN THEM FOR CREEPERS. ALL DETAILS TO ENGINEERS SPECS  
TIMBER HANDRAIL WITH WIRE BALUSTRADE TO DECK AREA .



all dimensions to be confirmed on site prior to construction

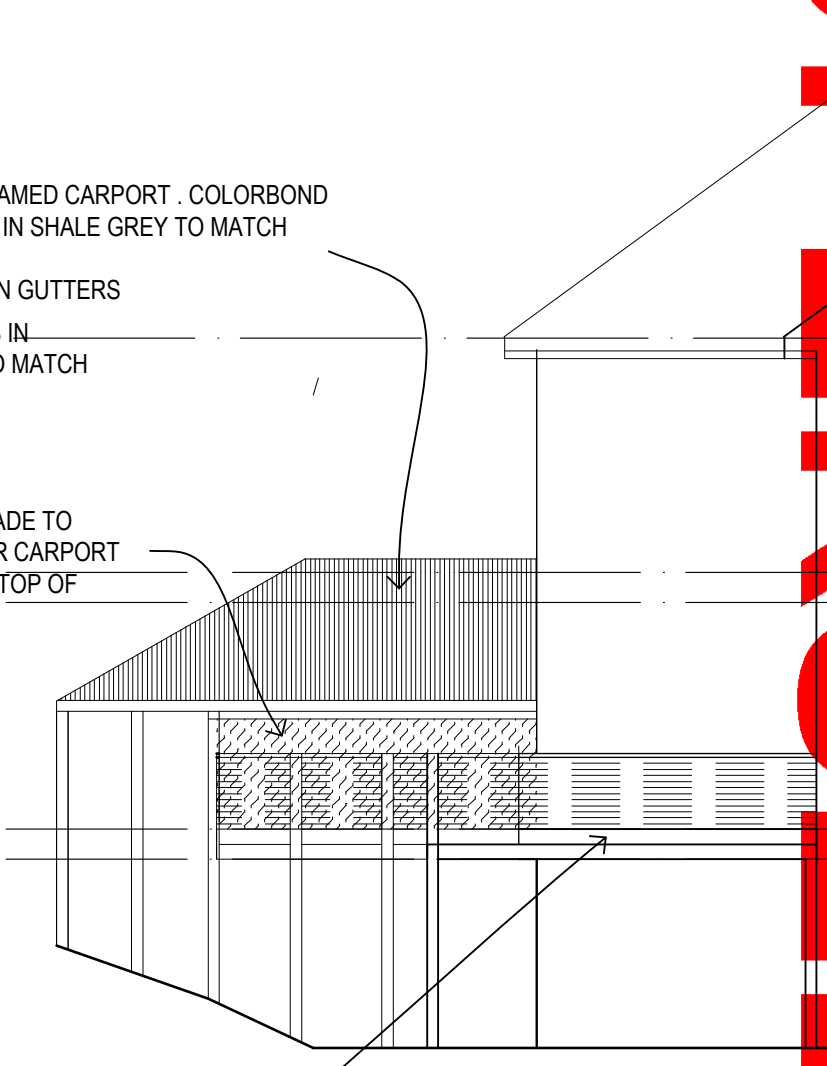
- LEGEND**
- P\* STEEL POSTS TO 1000mm ABOVE DECK LEVEL. TENSIONED WIRES BETWEEN FOR CLIMBING PLANTS
  - P STEEL POSTS
  - STEEL BEAMS AS PER ENGINEER
  - dp EXISTING DOWNPIPE . CONNECT CARPORT GUTTERS TO THESE

**PROPOSED CARPORT & DECK**  
**5B ROBERTS ST**  
**UNLEY 5061**

CONTENTS>PLAN  
 SCALE> 1:100  
 DATE>jan21  
 DRAWING NUMBER>P2a



**SOUTH ELEVATION 1:100**



**EAST ELEVATION 1:100**

UPPER LEVEL WINDOWS ARE FROSTED TO 1.7m ABOVE FLOOR LEVEL

NEW TIMBER FRAMED CARPORT . COLORBOND ROOF SHEETNG IN SHALE GREY TO MATCH EXISTING COTTAGE GREEN GUTTERS  
FASCIA & POSTS IN PAPERBARK - TO MATCH DWELLING

GLASS BALUSTRADE TO PORTION OF REAR CARPORT FROM FASCIA TO TOP OF BALCONY FLOOR

POSTS ON BOUNDARY @1000 ABOVE DECK LEVEL . STEEL WIRES BETWEEN AS SUPPORT FOR CLIMBING PLANTS

NEW STEEL FRAMED BALCONY WITH TILED FLOOR . TIMBER HANDRAIL + TENSIONED WIRE BALUSTRADE

all dimensions to be confirmed on site prior to construction

**PROPOSED CARPORT & DECK**  
**5B ROBERTS ST**  
**UNLEY 5061**

CONTENTS>ELEVATION  
 SCALE> 1:100  
 DATE> NOV 20  
 DRAWING NUMBER>P3



DENSE VEGETATION >  
8m HIGH

NEW TIMBER FRAMED CARPORT . COLORBOND  
ROOF SHEETNG IN SHALE GREY TO MATCH  
EXISTING

COTTAGE GREEN  
GUTTERS

2020  
2665

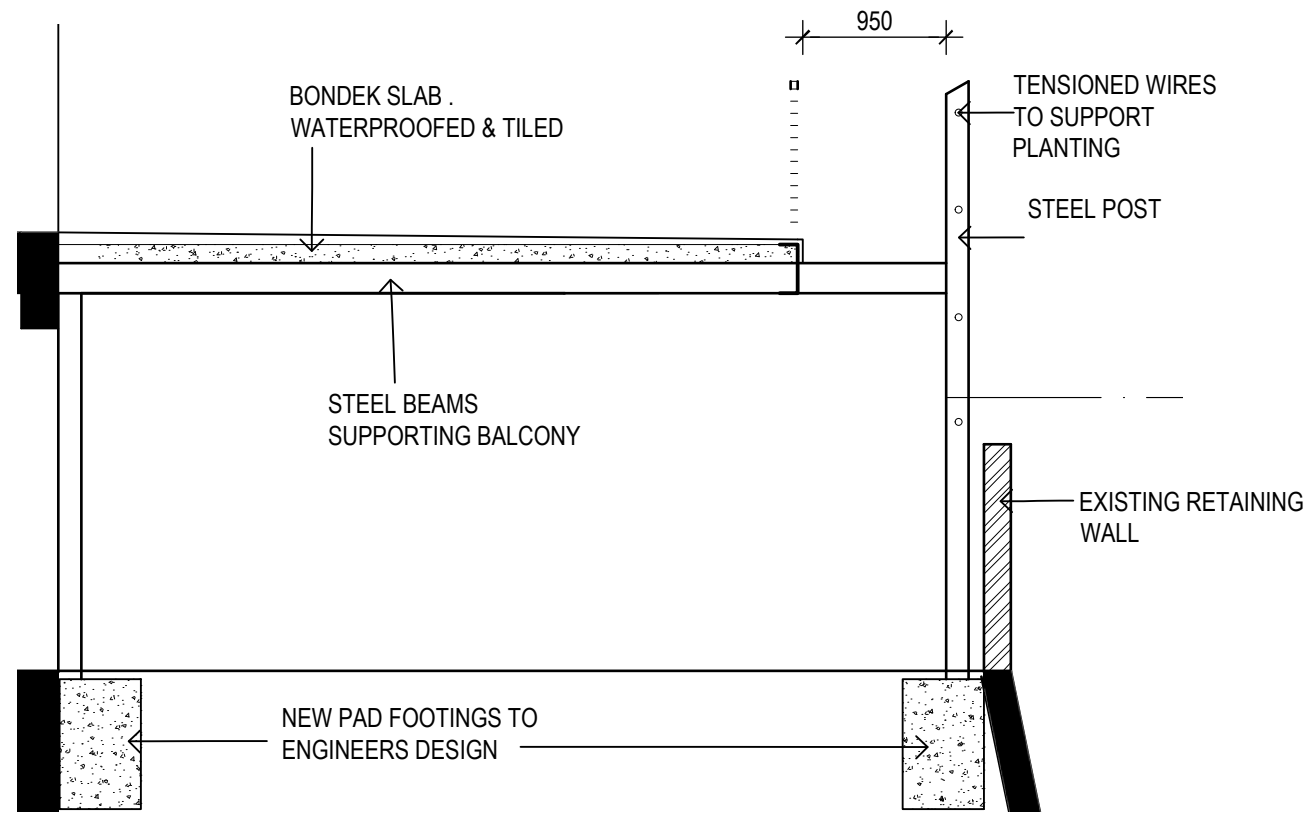
FASCIA & POSTS IN  
PAPERBARK - TO MATCH  
DWELLING

WEST ELEVATION 1:100

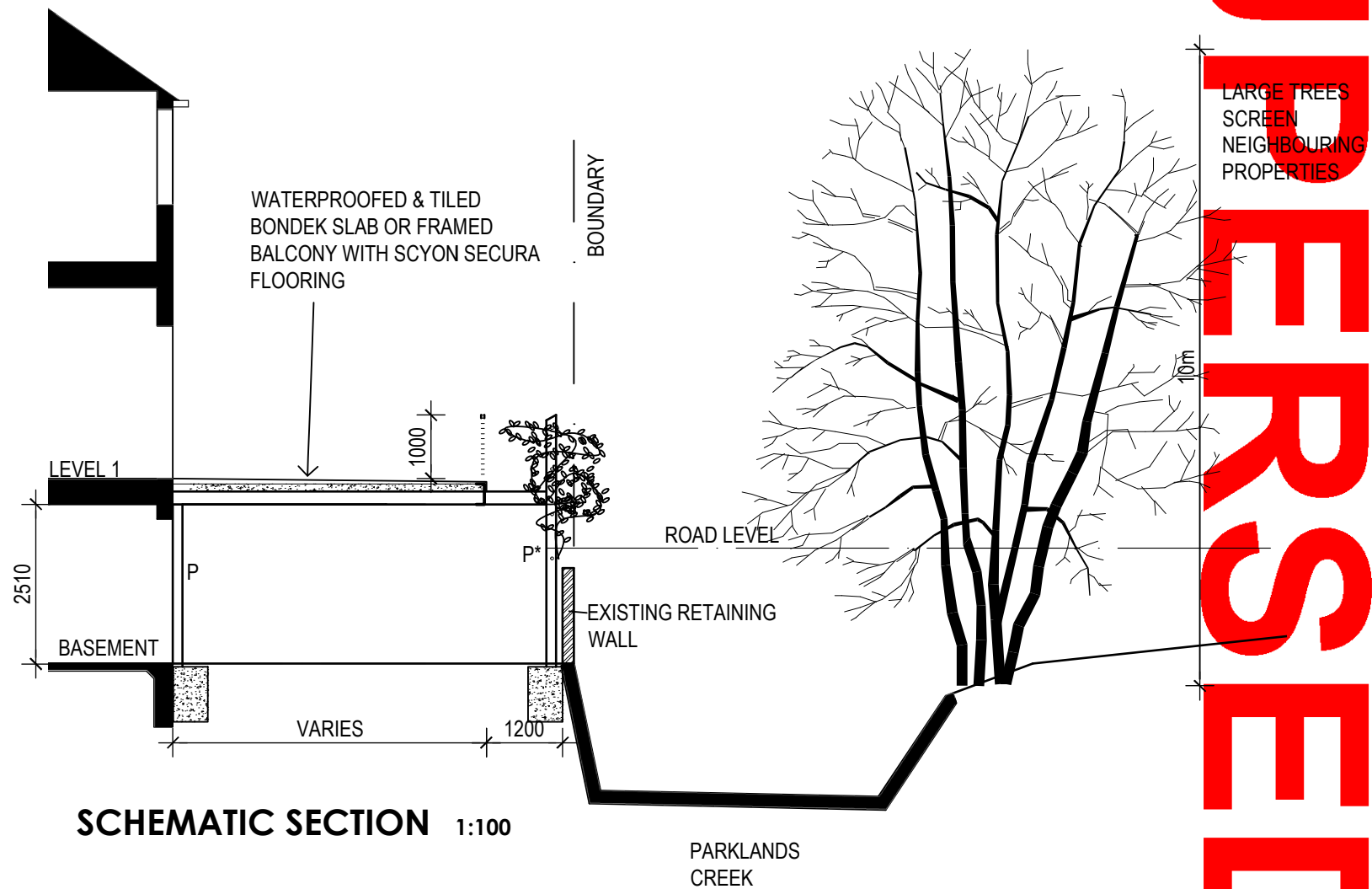
all dimensions to be confirmed on site prior  
to construction

**PROPOSED CARPORT & DECK**  
**5B ROBERTS ST**  
**UNLEY 5061**

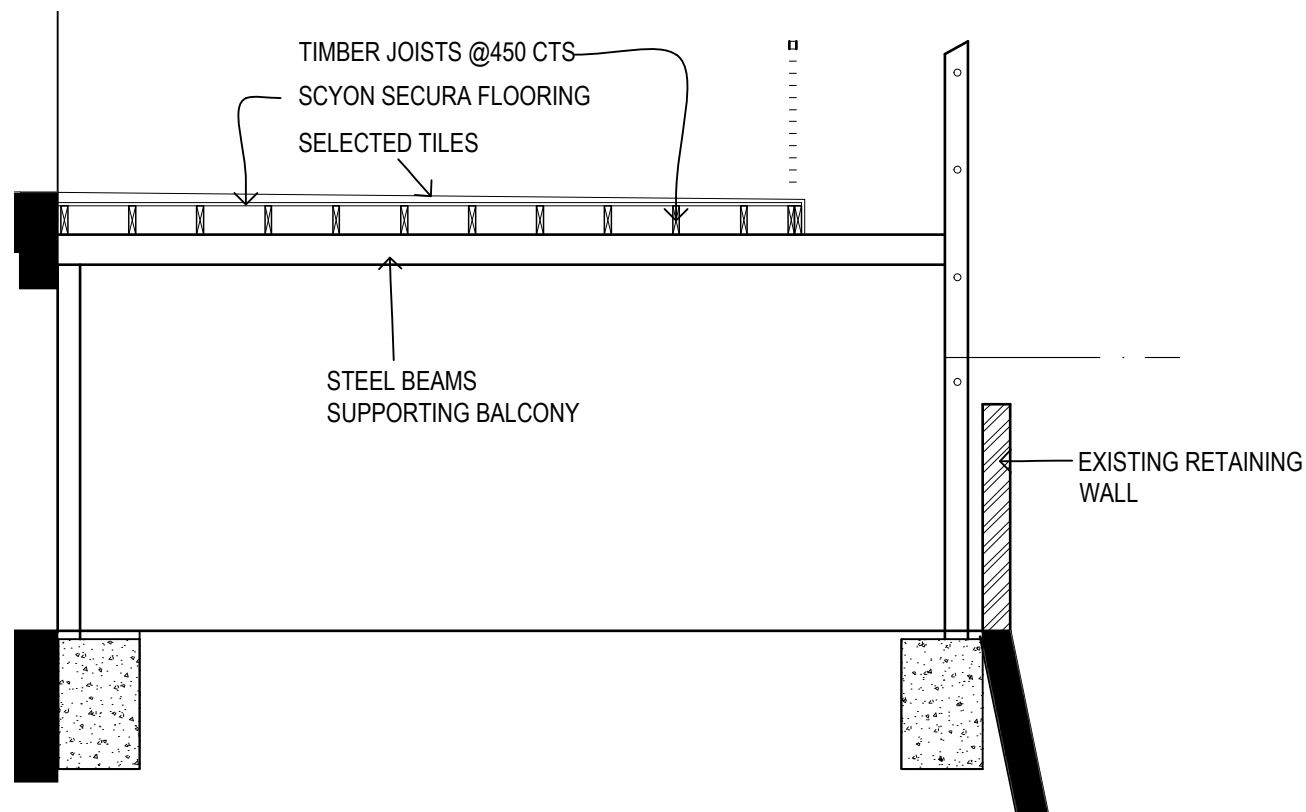
CONTENTS>ELEVATION  
SCALE> 1:100  
DATE> jan 21  
DRAWING NUMBER>P4a



**SECTION - BONDEK OPTION 1:50**



**SCHEMATIC SECTION 1:100**



**SECTION - FRAMED OPTION 1:50**

STEEL FRAMED BALCONY , CAPABLE OF SUPPORTING POT PLANTS . WATER PROOFED & TILED BONDEK SUSPENDED CONCRETE FLOOR OR TIMBER FRAMED WITH SCYON SECURA SHEET FLOORING , WATERPROOFED & TILED

POSTS ON BOUNDARY TO BE MIN 1000mm ABOVE DECK HEIGHT TO ALLOW WIRES TO BE STRUNG BETWEEN THEM FOR CREEPERS.

ALL DETAILS TO ENGINEERS SPECS  
TIMBER HANDRAIL WITH WIRE BALUSTRADE TO DECK AREA .

POSSIBILITY OF RELOCATING LIVING ROOM ACCESS DOOR  
OPTIONAL DECK AREA WITH ACCESS FROM THE LAUNDRY

all dimensions to be confirmed on site prior to construction

**PROPOSED CARPORT & DECK  
5B ROBERTS ST  
UNLEY 5061**

CONTENTS>PLAN  
SCALE> 1:100  
DATE>NOV20  
DRAWING NUMBER>P6

## Statement in support

New carport & balcony at 5B Roberts st , Unley 5061  
For Allyson & Darryl Carpenter

Structures will be located behind the existing 1:100 ARI floodwall & will not impede floodwaters. they are non-habitable and will be designed to meet all Australian standards . they will provide more accessible spaces & improve the functionality of the property

## The Carport

### Complementary design matching roof pitch , materials & colours

- open on 3 sides & attached to the house.27m2
- colorbond roof sheeting in shale grey at a pitch to match the existing roof
- timber fascia, timber posts & framing in paperbark to match timberwork to dwelling
- Gutter in cottage green to match existing
- Set back from front elevation – slightly behind balcony & front verandah line
- Provide more accessible covered parking than the current undercroft area.
- Provide additional covered off street parking to free up on street parking
- Posts will be located behind the existing floodwall
- Height to suit clearance at front of carport – noting that the driveway slopes down from the road

*8 A garage, carport or outbuilding should be setback from the primary street frontage:  
(b) no closer than the front alignment of walls of the associated dwelling if the dwelling incorporates street facing attached verandahs, porticos and similar structures;*

*29 Garages and carports facing the street should reinforce the prominence of the associated dwelling in the streetscape &*

*(a) have a roof form that visually distinguishes between the garage/carport and the main dwelling*

*(b) be compatible with, but substantially subservient in scale, mass and height to, the associated dwelling and adjacent dwellings;*

Note that a very similar carport Application Number 534/2015/C1 was granted approval in 2015

## The balcony

**Currently the home does not have direct access from a living area to private open space.**

A balcony with access from the living / meals / kitchen area would remedy this. *This balcony will increase the private open space afforded to this property*

We propose

- a steel framed structure with tiled floor. area 37m2
- Posts adjacent the boundary would be behind the floodwall . They would project 1 metre higher than balcony level to allow the existing vegetation within the property to be trained on wires
- Wire balustrades with timber handrails to eastern & southern sides .
- Glass balustrading to western elevation , behind carport – to maintain light levels
- The balcony will be virtually hidden from the street by the proposed carport
- Existing dense shrubbery & evergreen trees provide year round privacy . the dwellings across the creek are open front yard spaces & parking

Ellie Calligeros – Building Designer 0408812316

## ATTACHMENT B

## REPRESENTATION Category 2 (Page 1)

To: David Bailey, City of Unley Development Section

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The **closing date** for Representations is **5pm on 16 February 2021**.

**Application:** 090/957/2020/C2 5B Roberts Street, Unley SA 5061

### Details of Person(s) making Representation:

Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected  
by Development

3/7 Roberts Street, Adelaide SA 5000



(Signature)

2 February 2021

(Date)

## REPRESENTATION Category 2 (Page 2)

To: **David Bailey, City of Unley Development Section**

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|                                         |                                                  |
|-----------------------------------------|--------------------------------------------------|
| <b>Application:</b>                     | 090/957/2020/C2 5B Roberts Street, Unley SA 5061 |
| <b>Property affected by Development</b> | 3/7 Roberts Street, Unley SA 5061                |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

*(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)*

The deck will provide users with with a clear view of the common areas at 7 Roberts Street. It will also provide users with a clear view of the living areas and master bedrooms of a number of the units at 7 Roberts Street.

My concerns (if any) could be overcome by:

Replace the stainless steel wire balustrade with a 1.8 metre high screen

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

*(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)*



8 FEB 2021

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

09 FEB 2021

REF:

To: David Bailey, City of Unley Development Section

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Application: 090/957/2020/C2 5B Roberts Street, Unley SA 5061

Details of Person(s) making Representation:

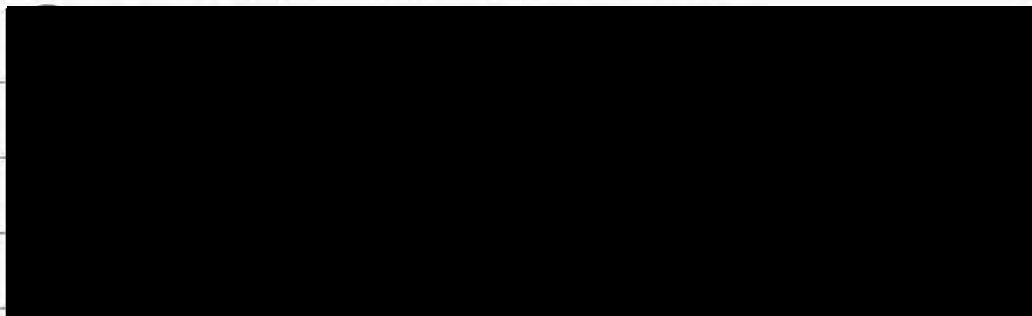
Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected by Development



7 Roberts St Unley

*[Handwritten Signature]*  
(Signature)

8/2/21  
(Date)

A Ian

I am lodging this representation as a private resident, but also on behalf of our Strata Corporation (Strata 4578) in my capacity as Presiding officer.  
Yours sincerely *[Handwritten Signature]*

## REPRESENTATION Category 2 (Page 2)

To: David Bailey, City of Unley Development Section

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|                                  |                                                  |
|----------------------------------|--------------------------------------------------|
| Application:                     | 090/957/2020/C2 5B Roberts Street, Unley SA 5061 |
| Property affected by Development | 7 Roberts St, Unley                              |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

I support the overall concept of the development but am concerned that the privacy of our property will be negatively affected by the combined effect of the balcony height (significantly above the current retaining wall) & the low wire balustrading planned. The screening vegetation referred to is not necessarily permanent long term due to aging trees & should not be relied on for long term privacy. I would like to see a 1.8 metre privacy screen included on the creekside of the patio to ensure our long term privacy.

My concerns (if any) could be overcome by:

(see above)

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

# REPRESENTATION Category 2 (Page 1)

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**Application:** 090/957/2020/C2 5B Roberts Street, Unley SA 5061

**Details of Person(s) making Representation:**

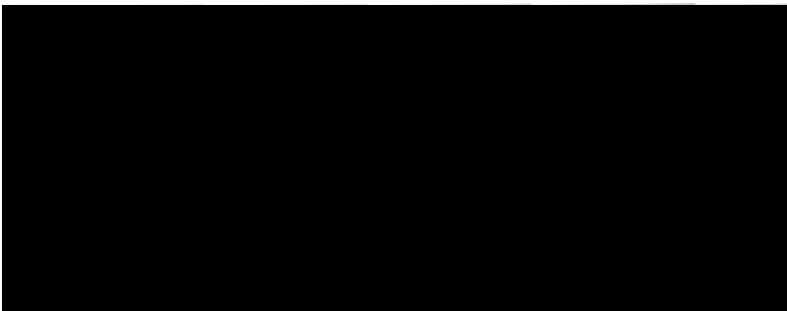
**Name:**

**Postal Address:**

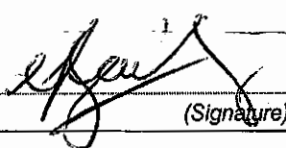
**EMAIL ADDRESS:**

**Daytime Phone No.**

**Property affected  
by Development**



Unit 4, 7 Roberts unley

  
(Signature)

11/2/21  
(Date)

## REPRESENTATION Category 2 (Page 2)

To: David Bailey, City of Unley Development Section

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The closing date for Representations is 5pm on 16 February 2021.

|                                  |                                                  |
|----------------------------------|--------------------------------------------------|
| Application:                     | 090/957/2020/C2 5B Roberts Street, Unley SA 5061 |
| Property affected by Development | Unit 4, 7 Roberts St Unley SA 5061               |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

*(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)*

The proposed deck will negatively impact on privacy/amenity at 7 Roberts street.

My concerns (if any) could be overcome by: a 1.8m screen instead of proposed stainless steel wire balustrade.

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

*(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)*

## REPRESENTATION Category 2 (Page 1)

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**Application:** 090/957/2020/C2 5B Roberts Street, Unley SA 5061

### Details of Person(s) making Representation:

Name:

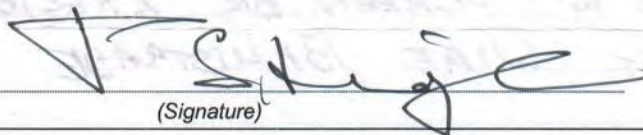
Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected  
by Development

UB 7 ROBERTS ST UNLEY

  
(Signature)

14 2 2021  
(Date)

## REPRESENTATION Category 2 (Page 2)

To: David Bailey, City of Unley Development Section

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|                                  |                                                  |
|----------------------------------|--------------------------------------------------|
| Application:                     | 090/957/2020/C2 5B Roberts Street, Unley SA 5061 |
| Property affected by Development | U6 7 ROBERTS ST UNLEY                            |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

WILL NEGATIVELY IMPACT OUR PRIVACY

My concerns (if any) could be overcome by:

IF A 1.8m SCREEN BE ERECTED INSTEAD OF JUST WIRE BALUSTRADE

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

**REPRESENTATION Category 2 (Page 1)**

CITY OF UNLEY  
05 FEB 2021  
REF:

To: David Bailey, City of Unley Development Section

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**Application:** 090/957/2020/C2 5B Roberts Street, Unley SA 5061

**Details of Person(s) making Representation:**

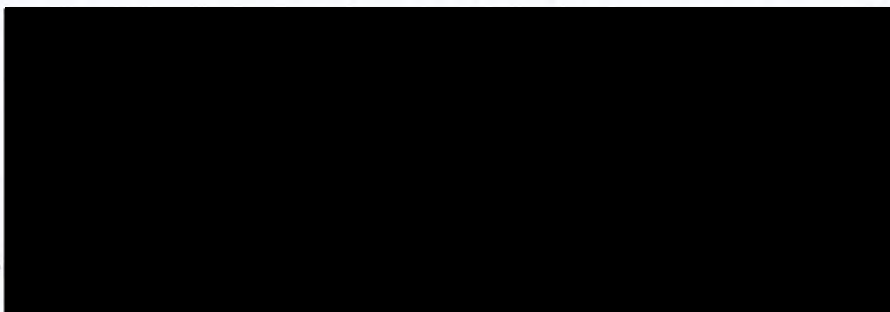
Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected  
by Development



1/5 ROBERTS ST, UNLEY

*DBi*

(Signature)

02.02.2021

(Date)

## REPRESENTATION Category 2 (Page 2)

To: David Bailey, City of Unley Development Section

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|                                  |                                                  |
|----------------------------------|--------------------------------------------------|
| Application:                     | 090/957/2020/C2 5B Roberts Street, Unley SA 5061 |
| Property affected by Development | 115 ROBERTS ST, UNLEY                            |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

I AM CONCERNED THAT THE NEW DECK, BEING A WELL-USED SPACE, WILL GAIN CONSIDERABLE OPPORTUNITIES FOR OVERLOOKING OUR PRIVATE REAR GARDEN + LIVING ROOM. IN PARTICULAR, THE HEIGHT OF THE DECK & ITS PROXIMITY TO OUR GARDEN ON ITS EASTERN EDGE (~4M) WILL LEAVE OUR GARDEN VERY EXPOSED. (SEE SKETCH BELOW)

PS: I THINK THE DECK IS A FANTASTIC IDEA. I AM NOT OPPOSED TO IT, JUST CONCERNED ABOUT EXCESSIVE OVERLOOKING.

My concerns (if any) could be overcome by:

EASTERN HIGHER SCREENING ALONG WESTERN EDGE OF DECK ADJACENT OUR GARDEN. THIS DOESN'T HAVE TO BE SOLID, BUT JUST SCREEN MOST OVERLOOKING.

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)





REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY  
03 FEB 2021  
REF:

To: David Bailey, City of Unley Development Section

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Application: 090/957/2020/C2 5B Roberts Street, Unley SA 5061

Details of Person(s) making Representation:

Name:

Postal Address:

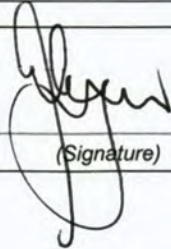
EMAIL ADDRESS:

Daytime Phone No.

Property affected by Development



15 MILLER ST. UNLEY 5061

  
(Signature)

2/2/21  
(Date)

## REPRESENTATION Category 2 (Page 2)

**To: David Bailey, City of Unley Development Section**

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|                                         |                                                  |
|-----------------------------------------|--------------------------------------------------|
| <b>Application:</b>                     | 090/957/2020/C2 5B Roberts Street, Unley SA 5061 |
| <b>Property affected by Development</b> |                                                  |

**I support the proposed development.**

OR (Tick one only)

**I object to the proposed development because:**  
*(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)*

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**My concerns (if any) could be overcome by:** \_\_\_\_\_

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**WISH TO BE HEARD**
 **DO NOT WISH TO BE HEARD**
by the Council Assessment Panel

*(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)*

**ATTACHMENT C**

City of Unley  
181 Unley Rd Unley SA 5061

Attention; David Bailey  
City of Unley Development Section

Dear David

Thank you for your email forwarding the responses to our development application. DA 957/2020/C2  
The application is for an erect carport and elevated deck adjacent the southern side of our residence.

There were 6 representations made, one supporting the application with the remaining five raising concerns with the application. We note no concerns were raised regarding the proposed carport and all representations revolved around the question of oversight of adjoining properties.

Of the five responses concerning oversight one was from unit 1/5 Roberts street being the property adjoining immediately to the east of the applicant property. The remaining four representations were from four of the six units comprising 7 Roberts Street Unley. This property is immediately south of the applicant property but does not adjoin our property. Our properties do not have a common boundary, being separated by the Parklands Creek as shown below

Site drawing.



All the representations raised were in regard to the same issue; Overlooking

At the outset I would like to state that my Wife and I are acutely aware of the potential for overview of our neighbours. We believe that we have made provision for a considerable volume of plantings on the deck itself that with professional advice as to placement and content will complement the current creek line. This will afford substantial effective screening that will maintain a reasonable level of visual privacy for properties on both sides of the creek.

I believe we should deal with our neighbours concerns separately.

First the adjoining property to the east of us 1/5 Roberts Street Unley

We acknowledge that the deck would provide overlooking of a “habitable room windows and usable private open space of another dwelling”

In his representation Daniel Girilli of 1/5 Roberts street Unley stated that “I think the Deck is a fantastic idea. I am not opposed to it, just concerned about excessive overlooking”. Danial went on to say that his concerns could be overcome by: Higher screening along eastern edge of the deck.....This doesn’t have to be solid but just screen most overlooking”

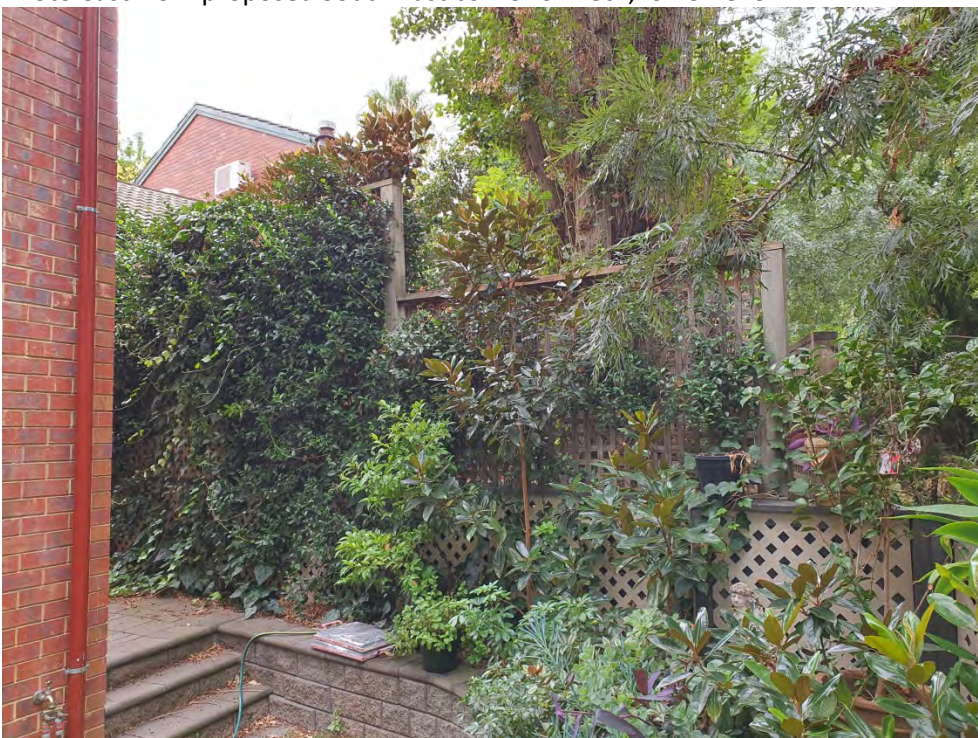
We have been in contact with Daniel and had an onsite meeting at 5b Roberts street.

We discussed various alternatives but came to the mutual conclusion that increasing the height of the current boundary screen by about 300mm and extending the current screen it to the south would provide a level of soft screening that would maintain a reasonable level of visual privacy agreeable to both parties.

We have agreed to discuss this again after reflection but we have reached common ground and we have committed to undertake the changes Daniel requires as soon as planning approval is given so the “green” screen will be in place before the deck is commenced.

Please consider the photo below. This is taken from the lower level from where the south east corner of the deck will be (refer site plan). As agreed with Daniel we believe the screening in place is effective and with the extension higher and to the south will maintain a reasonable level of visual privacy acceptable to both of us,

Photo east from proposed South East corner of Deck, lower level.



Secondly : the property at 7 Roberts Street Unley comprising 6 units of which four responded to the development application.

We understand that the development plan refers to overlooking as applying to habitable rooms and private open spaces of other dwellings. It refers to the adoption of measures to maintain a reasonable level of visual privacy. We believe that the existing landscape provides a reasonable level of visual privacy without the proposed additional screening.

The general consensus within the responses was that the deck would negatively impact on the resident’s privacy and that this would be overcome by a 1.8m Solid screen erected along the southern edge of the deck.

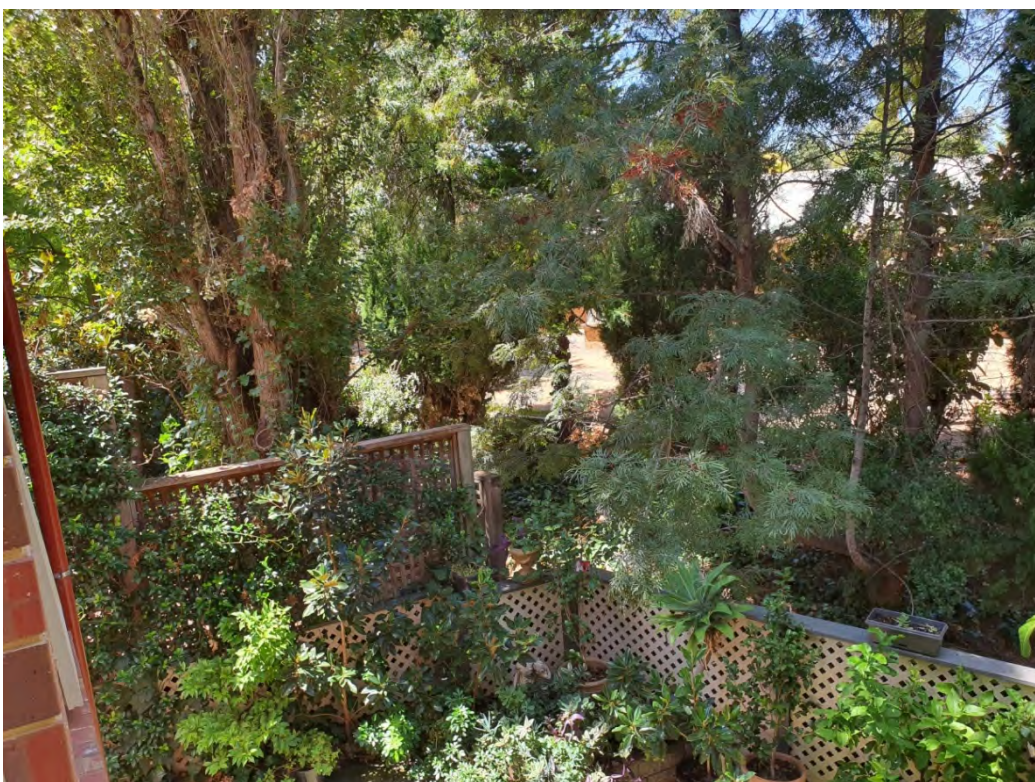
To accommodate some of the residents’ fears we have amended the original development application to include a 1.7m high screen to the portion of the proposed deck that runs along the boundary of 5b Roberts street and the parklands creek line. The area also referred to in the development application as the “Drying Deck”

A 1.8m high fixed solid screen running the entire length of the deck , as proposed by all respondents from 7 Roberts street would clearly solve any overview issue but would destroy the amenity and ambiance provided by the creek line vegetation which is exactly what we wish to capture with the deck.

Furthermore we do not believe this is what is envisaged or required by the development plan. We propose that the current screening together with the proposed deck design, including fixed screens and planter boxes with additional plantings will provide a reasonable level of privacy to the residents of 7 Roberts Street.

The pictures below show the view south over the parklands creek to 7 Roberts Street at both deck level, from the balcony doors at our residence 5B Roberts street ,and a position directly below the balcony doors on the lower level. The proposed deck level is less than 1 meter above street level and as result current overview from the lower lever exceeds that from the proposed deck even without the proposed additional screening and plantings on the deck.

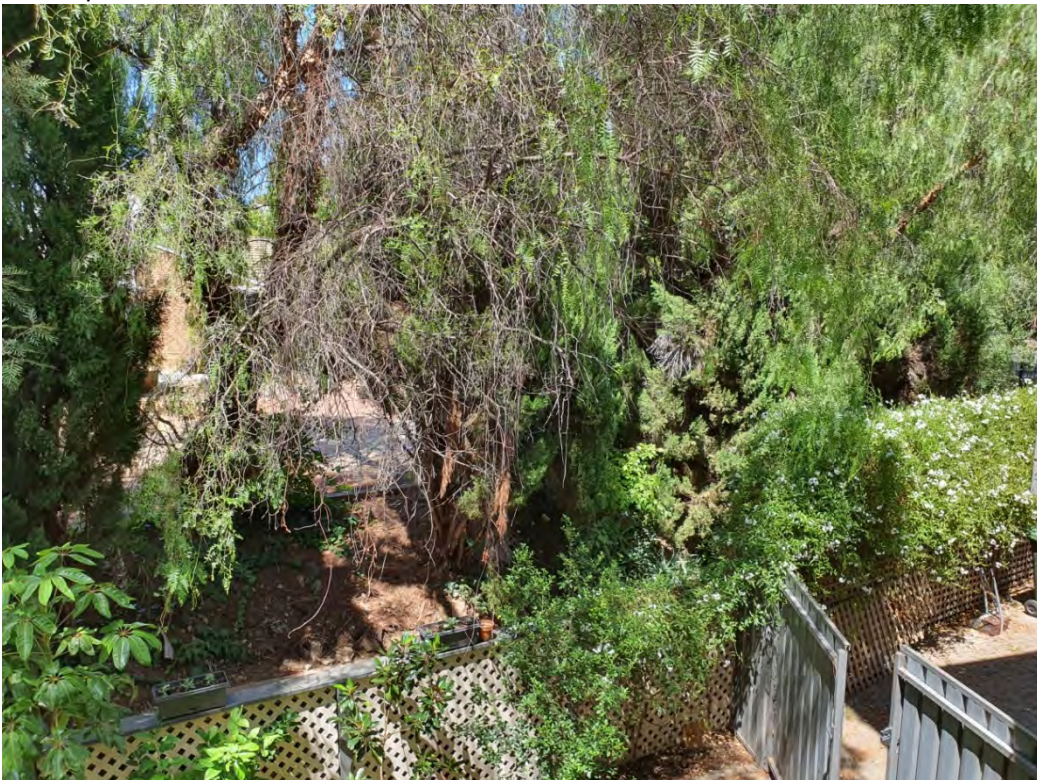
DECK LEVEL facing south from position “A” on site plan  
1 off 3 photos moving east to west



2 off 3 photos



3 off 3 photos



The pictures below show the view south over the parklands creek to 7 Roberts Street at the lower level directly below the balcony doors at the residence at 5B Roberts street .The vegetation is completely contained within the creek line and is substantial.

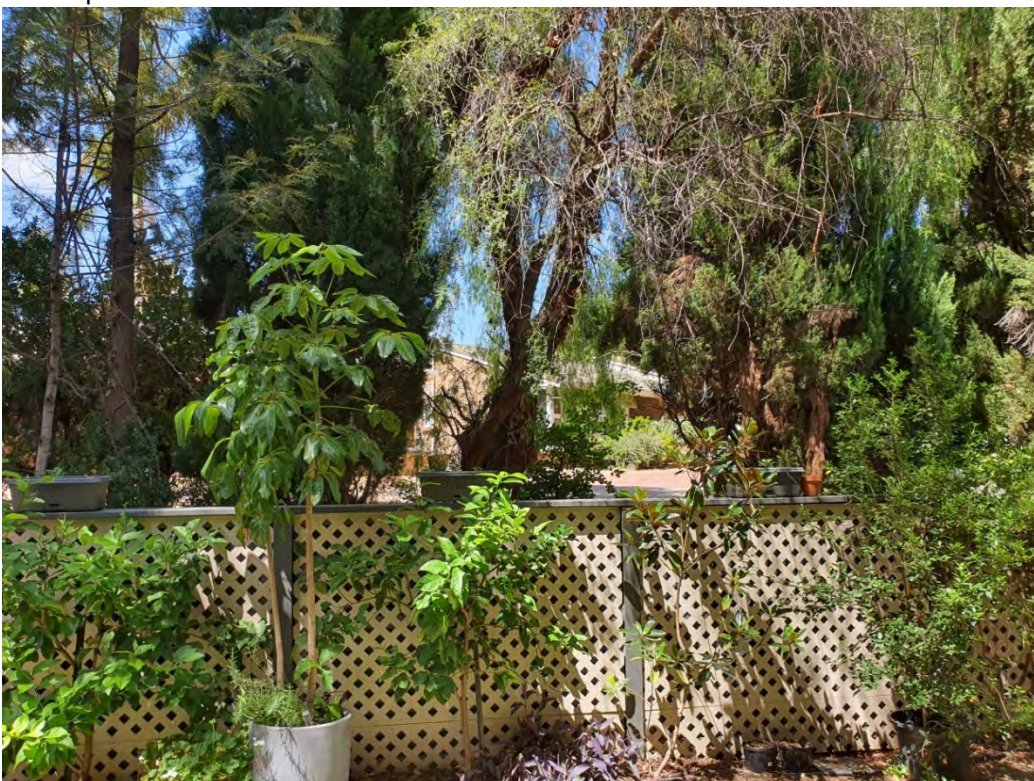
As you can see the current overview of 7 Roberts street from the lower level is greater than that from the proposed deck due to vision through the lower levels of the screening tree. Please note that a fence does not exist on the northern boundary of 7 Roberts street .

LOWER LEVEL facing south from position "A" on site plan

1 off 3 photos moving east to west



2 off 3 photos





3 of 3 photos



The area viewed from 5b Roberts street is a common area that also incorporates shared /public car parking.

The photo below shows the view east from Roberts street into 7 Roberts Street



The picture shows the considerable existing landscaping along the parklands creek ,the orientation of the habitable room windows of unit 1 and 2 and the considerable distance of the dwellings from the parklands creek and the proposed deck.

We also note the lack of any fencing along the northern boundary or additional screening at 7 Roberts street that would complement the privacy afforded the parklands creek existing landscape.

An internet search on realestate .com provided the building layout of unit 2/7 Roberts Street which shows that each unit has a private courtyard to the north of each residence.



The Development Plan provides in regard to overlooking:

“39. to maintain a reasonable level of visual privacy to adjacent residential properties the following measures are sought:

(d) provide a separation distance of 15m radius to windows of habitable rooms in potentially impacted dwellings and 30 metre radius to private open spaces.....”

As can be seen from the overlay below the nearest window of a habitable room is more than 15 metres from the proposed deck and the private courtyard of each dwelling is more than 30 metres from the proposed deck.



In summary I make the following comments:

- 1) We have an agreement in principle with the residents of 1/5 Roberts streets as to as structure that provides reasonable visual privacy for both parties
- 2) In regard to 7 Roberts street
  - a) All the units have a private back yard on their southern side. The area in front of the units facing 5B Roberts street is common ground providing common (shared) parking and public entry/exit point for all the units.
  - b) The mature vegetation along the creek line comprises various trees and shrubs that provides considerable and efficient screening for properties on both sides of the creek.
  - c) The overview of 7 Roberts street from the proposed deck will be limited and be of common areas only. The additional fixed screen with Deck plantings will provide the residents of 7 roberts street with a reasonable level of privacy.
  - d) Any habitable room facing North is more than 15m from the proposed deck.
  - e) any private courtyard is more than 30m from the proposed deck.
  - e) 7 Roberts street does not have any fencing on its northern boundary (creek line).to assist with providing screening from neighbouring properties. All privacy/screening being provide by the creek line vegetation. The street frontage is delineated by a low wall which does not provide any screening from the street.

We believe that though the adoption of a number of measures including

- a) Layout
- b) Location

- c) The use of screening devices
- d) Adequate separation distance
- e) Existing landscape with supplementary plantings

that we have maintained a reasonable level of visual privacy to adjacent residential properties and the development application should proceed as proposed.

We attach the amended application for your consideration.

Regards

Darryl Carpenter

**ITEM 3****DEVELOPMENT APPLICATION – 090/784/2019/C2 – 55 CASTLE STREET, PARKSIDE SA 5063 (PARKSIDE)**

|                                                |                                                                                                                         |
|------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------|
| <b>DEVELOPMENT APPLICATION NUMBER:</b>         | 090/784/2019/C2                                                                                                         |
| <b>ADDRESS:</b>                                | 55 Castle Street, Parkside SA 5063                                                                                      |
| <b>DATE OF MEETING:</b>                        | 19 May 2020                                                                                                             |
| <b>AUTHOR:</b>                                 | David Bailey                                                                                                            |
| <b>DEVELOPMENT PROPOSAL:</b>                   | Demolish existing dwelling and construct a new two storey detached dwelling including carport to boundary and verandahs |
| <b>HERITAGE VALUE:</b>                         | Nil                                                                                                                     |
| <b>DEVELOPMENT PLAN:</b>                       | 19 December 2017                                                                                                        |
| <b>ZONE:</b>                                   | (BUILT FORM) ZONE<br>Policy Area 8.4 Compact Parkside (South)                                                           |
| <b>APPLICANT:</b>                              | Rossdale Homes Pty Ltd                                                                                                  |
| <b>OWNER:</b>                                  | V N Vo                                                                                                                  |
| <b>APPLICATION TYPE:</b>                       | Merit                                                                                                                   |
| <b>PUBLIC NOTIFICATION:</b>                    | Category 2                                                                                                              |
| <b>REPRESENTATIONS RECEIVED:</b>               | Two oppose                                                                                                              |
| <b>CAP'S CONSIDERATION IS REQUIRED DUE TO:</b> | Unresolved representations                                                                                              |
| <b>RECOMMENDATION:</b>                         | Refusal                                                                                                                 |
| <b>KEY PLANNING ISSUES:</b>                    | Appearance of proposed dwelling in the established Parkside character                                                   |

**1. PLANNING BACKGROUND**

The site contains a symmetrical cottage from the early 1900's. A rear addition was consented in the late 1990's.

This development application was lodged in late 2019 and underwent notification in early 2020. Officers have had numerous discussions with the applicant resulting in various amendments. Attachment A contains the proposal as lodged in late 2019 and following various amendments, the proposal before the Panel.

**2. DESCRIPTION OF PROPOSAL**

The proposal is to demolish the existing cottage and construct a detached dwelling with a second floor in the roof form. The dwelling is to comprise four bedrooms , living spaces, a garage under the main roof, and attached open carport.

1800mm high colorbond good neighbour fencing is proposed to Scott Street.

### **3. SITE DESCRIPTION**

The site is rectilinear in shape, 16.76m wide, 24.38 deep and approximately 402m<sup>2</sup>. The site is known as 55 Castle Street and formally identified as Certificate of Title 5137 Folio 849, and Allotment 1 in Deposited Plan 37115.

The site comprises a single storey cottage with a carport adjacent the southern boundary, low mesh fence to Castle Street and a timber fence to Scott Street. There are no regulated trees on the site or adjacent sites.





*Existing Cottage 55 Castle Street – Photo Staff 18 March 2021*

#### **4. LOCALITY PLAN**



 Subject Site  Locality  1 Representations

## **5. LOCALITY DESCRIPTION**

The predominant land use within the locality is residential.

Dwellings range from the 1890's and the 1920/30's, with single storey symmetrical cottages, villas and bungalows being defining elements.

Some housing is from more recent eras, including narrower fronted single storey dwellings, and dwellings with two-storey components in the roof form. Front fencing is predominantly low and open, whilst street trees and landscaped front yards are characteristic. Tennis courts adjoin the site to the east.

## **6. NON-STATUTORY (INTERNAL) REFERRALS**

Council's heritage architect commented on the proposal and an earlier iteration (Attachment D).

In summary, comments on the proposal:

- Affirm the positive streetscape contribution of the existing cottage arising from its high integrity
- Consider the new dwelling does not make a comparable or more positive contribution to the streetscape arising from:
  - lack of space between the proposed dwelling, garage and carport and the dwelling to the south
  - the 'elongated' or wider appearance of the proposed dwelling when compared to traditional dwellings in the streetscape
  - the wider appearance being accentuated by the minimal front setback of the garage and carport, and by these being a double width form at odds with traditional character
  - the upper level not being inconspicuous in the streetscape, and at odds with the prevailing character
  - the small setback to Scott Street
  - the use of 'imitative' detail (e.g. bullnose verandah and quoinwork) being at odds with PDC10 seeking to avoid replication
  - the strongly contrasting dark/light colour scheme being at odds with traditional mid-range tones.
  - Incorporation of a panel type door to garage.

## **7. PUBLIC NOTIFICATION**

Category 2 notification was undertaken from which two representations were received.

| <b>57 Castle Street (oppose)</b>                       |                                                      |
|--------------------------------------------------------|------------------------------------------------------|
| <b>ISSUES RAISED</b>                                   | <b>APPLICANTS RESPONSE</b>                           |
| Shading of solar panel on carport roof                 | (Alterations made to proposal – no written response) |
| Height of proposed building. Seek a lower roof profile | “                                                    |



|                                                                                    |                                                      |
|------------------------------------------------------------------------------------|------------------------------------------------------|
| Impact of shrubs on sewer line.<br>Seek ground cover plantings. *                  | (no response)                                        |
| <b>22A Scott Street (oppose)</b>                                                   |                                                      |
| <b>ISSUES RAISED</b>                                                               | <b>APPLICANTS RESPONSE</b>                           |
| Proposed two storey dwelling will detract from the heritage character of Parkside. | (Alterations made to proposal – no written response) |

(\* denotes non-valid planning considerations)

## 8. DEVELOPMENT DATA

| <b>Building Characteristics</b>     |                                                             |                                                                                 |
|-------------------------------------|-------------------------------------------------------------|---------------------------------------------------------------------------------|
| <b>Site Coverage</b>                |                                                             |                                                                                 |
| <b>Roofed Buildings</b>             | <b>59%</b>                                                  | <input type="checkbox"/> <b>50% of site area</b>                                |
| <b>Total Impervious Areas</b>       | <b>79%</b>                                                  | <input type="checkbox"/> <b>70% of site</b> <input type="checkbox"/>            |
| <b>Total Building Height</b>        |                                                             |                                                                                 |
| From ground level                   | 7.2m tallest element                                        | (no requirement)                                                                |
| <b>Setbacks</b>                     |                                                             |                                                                                 |
| <b>Ground Floor</b>                 |                                                             |                                                                                 |
| Front boundary                      | 5m                                                          |                                                                                 |
| Side boundary (south)               | 1m                                                          |                                                                                 |
| Rear boundary (east)                | 4.1m                                                        |                                                                                 |
| <b>Private Open Space</b>           |                                                             |                                                                                 |
| Min Dimension                       | 4.1m                                                        | <input type="checkbox"/> <b>4m minimum</b>                                      |
| Total Area                          | 21%                                                         | <input type="checkbox"/> <b>20%</b>                                             |
| <b>Car parking and Access</b>       |                                                             |                                                                                 |
| On-site Car Parking                 | 3                                                           | 2 per dwelling where 4 bedrooms or less or floor area 250m <sup>2</sup> or less |
| Covered on-site parking             | 2                                                           | <input type="checkbox"/> <b>2 car-parking spaces</b>                            |
| Garage/ Carport Internal Dimensions | 5.8m x 3m                                                   | 6m x 3m for double                                                              |
| <b>Colours and Materials</b>        |                                                             |                                                                                 |
| Roof                                | Colorbond Roof, Custom Orb profile, Monument Colour         | (no requirement)                                                                |
| Walls                               | Front sandstone with rendered quoins. Sides sandstone brick | (no requirement)                                                                |
| Fencing                             | 1.8m colorbond                                              |                                                                                 |

(items in **BOLD** do not satisfy the relevant Principle of Development Control)

## 9. ASSESSMENT

### Zone Desired Character and Principles of Development Control

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Residential Streetscape (Built Form) Zone</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| <i>Objective 1 – Enhancement of the desired character of areas of distinctive and primarily coherent streetscapes by retaining and complementing the siting, form and key elements as expressed in the respective policy areas</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <i>Objective 2 – A residential zone for primarily street-fronting dwellings, together with the use of existing non-residential buildings and sites for small-scale local businesses and community facilities</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
| <i>Objective 3 – Retention and refurbishment of buildings including the sensitive adaptation of large and non-residential buildings as appropriate for supported care or small households</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <i>Objective 4 – Replacement of buildings and sites at variance with the desired character to contribute positively to the streetscape.</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>Desired Character</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <b>Streetscape Value</b><br><i>The zone is distinguished by those collective features (termed “streetscape attributes”) making up the variable, but coherent streetscape patterns characterising its various policy areas and precincts. These attributes include the:</i> <ul style="list-style-type: none"><li><i>(a) rhythm of building sitings and setbacks (front and side) and gaps between buildings; and</i></li><li><i>(b) allotment and road patterns; and</i></li><li><i>(c) landscape features within the public road verge and also within dwelling sites forward of the building façade; and</i></li><li><i>(d) scale, proportions and form of buildings and key elements.</i></li></ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <b>Streetscape Attributes</b><br><i>It is important to create high quality, well designed buildings of individuality and design integrity that nonetheless respect their streetscape context and contribute positively to the desired character in terms of their:</i> <ul style="list-style-type: none"><li><i>(a) siting —open style front fences delineate private property but maintain the presence of the dwelling front and its garden setting. Large and grand residences are on large and wide sites with generous front and side setbacks, whilst compact, narrow-fronted cottages are more tightly set on smaller, narrower, sites. Infill dwellings ought to be of proportions appropriate to their sites and maintain the spatial patterns of traditional settlement; and</i></li><li><i>(b) form – there is a consistent and recognisable pattern of traditional building proportions (wall heights and widths) and overall roof height, volume and forms associated with the various architectural styles. Infill and replacement buildings ought to respect those traditional proportions and building forms; and</i></li><li><i>(c) key elements – verandahs and pitched roofs, the detailing of facades and the use of traditional materials are important key elements of the desired character. The use of complementary materials, careful composition of facades, avoidance of disruptive elements, and keeping outbuildings, carports and garages as minor elements assist in complementing the desired character.</i></li></ul> |

**Assessment**

Overall, the proposed dwelling is considered at odds with the Desired Character seeking *‘well designed buildings of individuality and design integrity that nonetheless respect their streetscape context and contribute positively to the desired character’*.


The front setback in Castle Street is consistent and considered appropriate.

Also appropriate are the proportions in terms of wall height, roof form, window proportions and minimal eaves continuing a similar character to cottages in Castle Street. This aligns with the Desired Character seeking that ‘Infill dwellings ought to be of proportions appropriate to their sites and maintain the spatial patterns of traditional settlement.’

However, the dwelling’s overall width lessens the pattern of spaces between cottages. Whilst having a carport on the southern boundary is like the carport of the existing cottage, and a 1m setback to Scott Street is similar to the side street setback of 18A Scott Street on the northwest corner of Scott/Castle, together, these create spacing between dwellings at odds with the established pattern of spacing between dwellings.

Additionally, the new dwellings contrasting colours and imitative quionwork and verandah lack finesse that would otherwise lead to a ‘careful composition of façade’.

| Relevant Zone Principles of Development Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Assessment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>PDC 6 – Replacement Dwelling</b><br/> Demolition of the whole of a building should only be undertaken – where the replacement building(s) makes a comparable or more positive contribution to the desired character than the building to be demolished, or alternatively where the building to be demolished:</p> <ul style="list-style-type: none"> <li>a) Is structurally unsafe or so unsound as to be unreasonably economically rehabilitated; or</li> <li>b) Is so compromised or altered that there is no reasonable prospect of its original character being revealed; or</li> <li>c) Adds little value to the desired character due to its discordant form and poor streetscape contribution; or</li> <li>d) Is incongruous with, and makes a poor contribution to the particular character of its streetscape</li> </ul> | <p>Does not satisfy.</p> <p>No information has been presented that concludes the existing cottage is anything other than in sound condition. To satisfy PDC6, the new dwelling needs to make a comparable or positive contribution to the desired character.</p> <p>The proposed dwelling makes an inadequate contribution to the desired character. The proposed dwelling lacks the fine grain detail that the existing cottage presents in the streetscape. This arises from the stone, quions, sills, foundation elements, decorative verandah supports, and timber louvre on the roof.</p> |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                    |
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| <p>9 Development should present a single storey built scale to the streetscape. Any second storey building elements should be integrated sympathetically into the dwelling design, and be either:</p> <ul style="list-style-type: none"> <li>(a) incorporated primarily into the roof or comprise an extension of the primary single storey roof element without imposing excessive roof volume or bulk, or massing intruding on neighbouring spacious conditions nor increasing the evident wall heights as viewed from the street; or</li> <li>(b) set well behind the primary street façade of the dwelling so as to be inconspicuous in the streetscape, without being of a bulk or mass that intrudes on neighbouring properties.</li> </ul> | <p>Does not satisfy</p> <p>Recognising other two storey components within the locality, the siting of the proposed upper level is generally appropriate. However, it is considered the roof form with its wide eaves and western wall rising from the primary ridge line draws too much visual attention.</p>  |
| <p>10 Buildings should be of a high-quality contemporary design and not replicate historic styles. Buildings should nonetheless suitably reference the contextual conditions of the locality and contribute positively to the desired character, particularly in terms of:</p> <ul style="list-style-type: none"> <li>a) Scale and form of buildings relative to their setbacks as well as the overall size of the site; and</li> <li>b) Characteristic patterns of buildings and spaces (front and side setbacks), and gaps between buildings; and</li> <li>c) Primarily open front fencing and garden character and the strong presence of buildings fronting the street.</li> </ul>                                                            | <p>Does not satisfy</p> <p>The proposal contains some elements that imitate traditional forms, thus being at odds with the Plan seeking to avoid replicating historic styles.</p>                                                                                                                                                                                                                  |
| <p>13 Building walls on side boundaries should be avoided other than:</p> <ul style="list-style-type: none"> <li>(a) a party wall of semi-detached dwellings or row dwellings; or</li> </ul>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <p>Satisfies</p> <p>There are no walls proposed on boundaries.</p>                                                                                                                                                                                                                                                                                                                                 |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>(b) a single storey building, or outbuilding, which is not under the main dwelling roof and is setback from, and designed such that it is a minor, low and subservient element and not part of, the primary street façade, where: (i) there is only one side boundary wall, and<br/>(ii) the minimum side setback prescribed under the desired character is met on the other side boundary; and (iii) the desired gap between buildings, as set out in the desired character, is maintained in the streetscape presentation.</p>                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p>16 Fencing of the primary street frontage and the secondary street on corner sites, forward of the front façade of the dwelling, should complement the desired character, and be compatible with the style of the associated dwelling and its open streetscape presence, and comprise:<br/>(a) on narrow-fronted dwelling sites of up to 16 metres in street frontage - low and essentially open-style fencing up to 1.2 metres in height, including picket, dowel, crimped wire or alternatively low hedging; or<br/>(b) on dwelling sites in excess of 16 metres in street frontage - low and essentially openstyle fencing as in<br/>(a), but may also include masonry pier and plinth fencing with decorative open sections of up to 1.8 metres in total height.</p> | <p>Satisfies</p> <p>It is noted the proposal is silent with respect to a front fence and envisages a good neighbour type fence to the secondary frontage.</p> <p>The applicant is prepared to accept a reserved condition that supports in principle a 1.8m fence to the secondary frontage and a low open fence to Castle Street, and envisaging further assessment of the design, materials, finishes and colour to ensure fences complement the dwelling and reflect the desired character.</p> |

### **Policy Area Desired Character**

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Policy Area 8.4 – Compact Parkside South</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <p><b>Desired Character</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <p><i>This policy area contains five precincts located across the northern parts of City of Unley near the Parklands fringe, from Forestville in the west to Parkside in the east.</i></p> <p><i>The desired character and streetscape attributes to be retained and enhanced for each of these precincts is set out below. The table below identifies in detail the differences between the six precincts in terms of the predominant:</i></p> <p><i>(a) allotment widths and sizes; and</i><br/><i>(b) front and side building setbacks including the collective side setbacks.</i></p> <p><i>The streetscape attributes include the:</i><br/><i>(a) low scale building development;</i><br/><i>(b) compact road verges and building setbacks to the street;</i><br/><i>(c) building forms and detailing of the predominant cottages and villas; and</i></p> |

(d) varied but coherent rhythm of buildings and spaces along its streets.

Development will:

(a) be of street-fronting dwelling format, primarily detached dwellings, together with semidetached dwelling and row dwelling types. The conversion or adaptation of a building for a multiple dwelling or residential flat building may also be appropriate; and

(b) maintain or enhance the streetscape attributes comprising:

(i) siting - the regular predominant allotment pattern, including the distinctive narrow fronted sites associated with the various cottage forms produces an intimate

streetscape with a compact building siting and low scale built character with generally low and open style fencing and compact front gardens. Street setbacks are generally of some 6 metres and side setbacks are consistently of 1 metre or greater, other than for narrow, single-fronted and attached cottages producing a regular spacing between neighbouring dwellings of generally 3 to 5 metres (refer table below); and

(ii) form - the consistent and recognisable pattern of traditional building proportions

including wall heights and widths of facades, and roof height, volumes and shapes

associated with the identified architectural styles in (iii) below; and

(iii) key elements - the defining design features, including the verandahs and pitched roofs, use of wall and roofing materials facades of the predominant architectural styles (Victorian and Turn-of-the-Century double-fronted and single-fronted cottages and villas, and complementary Inter-war bungalows as well as attached cottages).

| Precinct                       | Predominant Allotment Size |       | Predominant Setbacks |                       |                           |
|--------------------------------|----------------------------|-------|----------------------|-----------------------|---------------------------|
|                                | Area                       | Width | Street setbacks      | Minimum side setbacks | Collective side setbacks† |
| 8.1 Forestville (North)        | 550m <sup>2</sup>          | 15m   | 6.0m                 | 1.0m                  | 4.0m                      |
| 8.2 Goodwood and Hyde Park     | 500m <sup>2</sup>          | 15m   | 6.0m                 | 1.0m                  | 5.0m                      |
| 8.3 Parkside (North)           | 400m <sup>2</sup>          | 15m   | 5.0m                 | 1.0m                  | 3.0m                      |
| 8.4 Parkside (South)           | 500m <sup>2</sup>          | 15m   | 7.0m                 | 1.0m                  | 4.0m                      |
| 8.5 Unley (West) and Hyde Park | 500m <sup>2</sup>          | 15m   | 5.0m                 | 1.0m                  | 4.0m                      |

† ie the distance between the main walls of neighbouring dwellings.

### Assessment

It is important for development to achieve the 'low scale building development' and 'building forms and detailing of the predominant cottages and villas'.

The Policy Area seeks to maintain 'the defining design features, including the verandahs and pitched roofs, use of wall and roofing materials-facades of the predominant architectural styles (Victorian and Turn-of-the-Century double-

*fronted and single-fronted cottages and villas, and complementary Inter-war bungalows as well as attached cottages).*'

The proposal involves a new dwelling with a width at odds with the established pattern of space between dwellings. The upper level differs from the predominant cottages and villas, though two examples of contemporary dwellings with upper floors in the roof form exist in the locality.

When compared to the existing cottage, the proposal lacks the comparable design features and the depth of detail that characterises the existing cottage. To that extent, the new dwelling doesn't maintain comparable streetscape attributes when compared to existing.

The Policy Area and Zone are open to new dwellings, but the new dwelling needs to make a comparable or greater contribution to the desired character of the area. The characteristics of the existing dwelling set a relatively high benchmark for the replacement dwelling.

### **Relevant Council Wide Objectives and Principles of Development Control**

| <b>Relevant Council Wide Provisions</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>Assessment</b>                                                                                                                                                                                                                           |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Residential Development</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                             |
| <b>PDC – SITE COVERAGE</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                             |
| <p>16 A dwelling site should be provided with sufficient space that is not covered by roofed buildings so as to provide:</p> <ul style="list-style-type: none"> <li>(a) front, side and rear setbacks appropriate for the desired character of the locality;</li> <li>(b) private open space and landscaping;</li> <li>(c) entry of natural light;</li> <li>(d) permeable surfaces to allow for on-site water harvesting;</li> <li>(e) pedestrian and vehicle access and parking;</li> <li>(f) storage and clothes drying area/s.</li> </ul> <p>Roofed buildings (excluding verandahs and eaves up to 2 metres in width or garden structures up to 10 square metres in area) should:</p> <ul style="list-style-type: none"> <li>(a) cover no more than 50 percent of the area of the site (excluding the area of the handle of a hammerhead allotment, any right of way or any shared driveway access)</li> <li>(b) together with the impervious areas (private driveways, car parking spaces, paths and outdoor entertainment areas) cover no more than 70 percent of the site.</li> </ul> | <p>Does not satisfy.</p> <p>59% site coverage and 79% impervious are above what the Plan envisages. Whilst some variation from site coverage is sometimes acceptable, these higher coverages arise from the insufficient side setbacks.</p> |
| <b>PDC 38 - OVERLOOKING</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Satisfies                                                                                                                                                                                                                                   |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                        |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>38 Direct overlooking from upper level (above ground floor level) habitable room windows and external balconies, roof patios, terraces and decks to habitable room windows and useable private open space of other dwellings should be minimised through adoption of one or more of the following:</p> <ul style="list-style-type: none"> <li>(a) building layout;</li> <li>(b) location and design of windows, balconies, roof patios and decks;</li> <li>(c) screening devices;</li> <li>(d) adequate separation distances;</li> <li>(e) existing landscaping and supplementary screen tree planting.</li> </ul>                                                                                                    | <p>East and south facing upper windows are greater than 1.7m above FFL.</p>                                                                                                                                                                                                                                            |
| <p><b>PDC 41 – OVERSHADOWING AND NATURAL LIGHT</b></p> <p>41 Development should allow direct winter sunlight access to adjacent residential properties and minimise the overshadowing of:</p> <ul style="list-style-type: none"> <li>(a) living room windows, wherever practicable;</li> <li>(b) the majority of private open space areas, communal open space and upper level balconies that provide the primary open space provision;</li> <li>(c) roof areas, preferably north facing and suitable for the siting of at least 4 solar panels on any dwelling;</li> </ul> <p>or where such affected areas are already shaded, the additional impact should not significantly worsen the available sunlight access.</p> | <p>Satisfies</p> <p>The shadow plans indicate that substantive roof and yard areas of the dwelling to the south receive sunlight midwinter.</p> <p>Regarding the solar panels on the carport adjacent the southern boundary, the shadow plans indicate the majority of this roof space receives sunlight midwinter</p> |
| <p><b>Energy Efficiency</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                        |
| <p><b>PDC 2</b></p> <p>Buildings should be sited and designed:</p> <ul style="list-style-type: none"> <li>(a) to ensure adequate natural light and winter sunlight is available to the main activity areas of adjacent buildings;</li> <li>(b) so that open spaces associated with the main activity areas face north for exposure to winter sun;</li> <li>(c) to allow for cross ventilation and natural cooling of buildings and zoning of building layouts to enable main living room areas to be separately heated and cooled;</li> <li>(d) to incorporate roof top gardens and green 'living' walls, particularly for multi-storey and large developments, to reduce the 'urban heat island effect';</li> </ul>     | <p>The rear yard is in a similar position to existing, being oriented to the east and receiving some northerly light.</p> <p>Cross ventilation is provided for.</p> <p>Noting the Zone and Policy Area, the proposal involves the demolition of the existing dwelling, including the embodied energy within it.</p>    |



|                                                                                                      |  |
|------------------------------------------------------------------------------------------------------|--|
| (e) to use energy efficient building materials or the re-use of existing materials embodied energy). |  |
|------------------------------------------------------------------------------------------------------|--|

## 10. DISCUSSION

The Residential Streetscape (Built Form) Zone seeks to both retain and to complement the siting, form and key elements (which are represented by villas and cottages). Development that involves the adaptation of villas and cottages aligns with the Zone.

The proposal involves the demolition of the existing cottage.

The Zone anticipates replacement and new dwellings where they make a comparable or more positive contribution to the streetscape. This involves an assessment of the comparable contribution of the new dwelling with respect to the dwelling it replaces.

The Policy Area identifies the *'verandahs and pitched roofs, use of wall and roofing materials facades of the predominant architectural styles (Victorian and Turn-of-the-Century double-fronted and single-fronted cottages and villas, and complementary Inter-war bungalows as well as attached cottages).'* as being key elements.

When compared to what is demolished, the proposed dwelling is considered of insufficient quality.

This arises from the new dwelling involving:

- lack of space between dwellings due to the width of built form.
- use of imitative quoinwork and verandah.
- incorporation of strongly contrasting colours and garage panel lift door.
- Overly visually dominant upper level.

## **11. CONCLUSION**

In summary, the application is considered to be at variance with the Development Plan and is not considered to satisfy the provisions of the Development Plan for the following reasons:

- Insufficient design quality of the new dwelling when compared to the existing cottage, at odds with Principles 6 and 10 of the Residential Streetscape (Built Form) Zone and at odds with the desired character of Policy Area 8 Compact. This is in particular with respect to:
  - lack of space between dwellings due to the width of built form.
  - use of imitative quoinwork and verandah and panel lift door.
  - incorporation of strongly contrasting colours.
- Inadequate integration of the second storey, at odds with Principles 9 of the Residential Streetscape (Built Form) Zone
- Inadequate site coverage at odds with Council Wide Principle 16

The application is therefore recommended for REFUSAL.

## **12. RECOMMENDATION**

MOVED:

SECONDED:

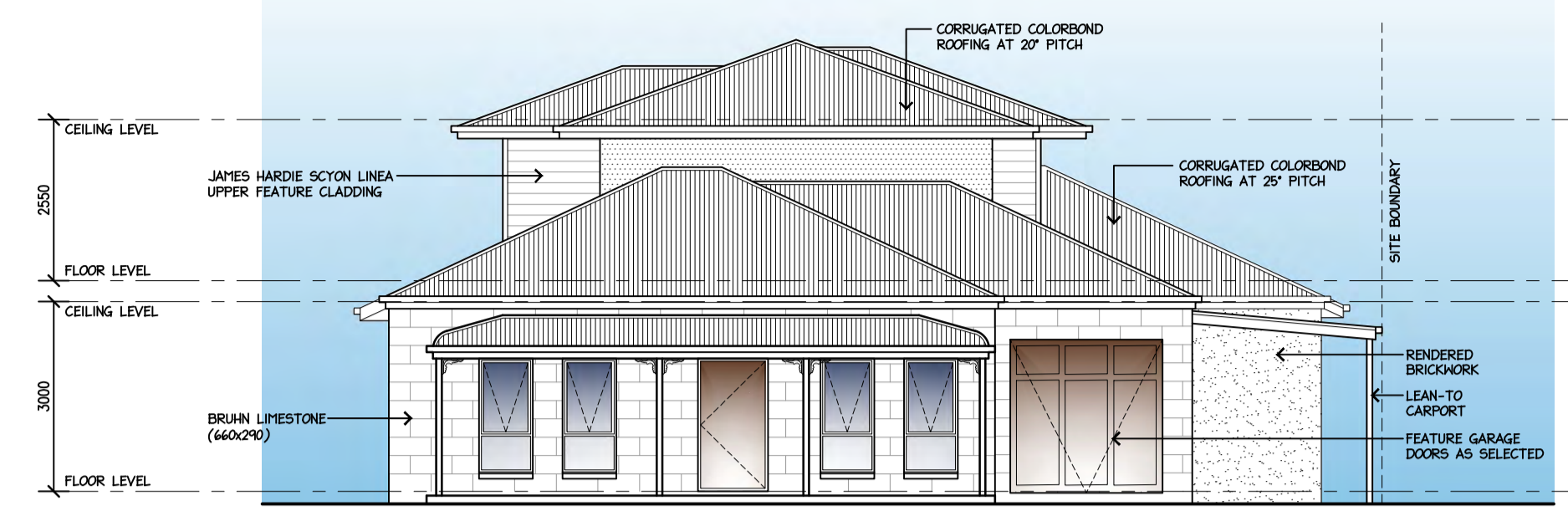
That Development Application 090/784/2019/C2 at 55 Castle Street, Parkside SA 5063 to 'Demolish existing dwelling and construct a new two storey detached dwelling including carport to common boundary and verandahs', is not seriously at variance with the provisions of the City of Unley Development Plan and should be REFUSED Planning Consent for the following reasons:

- Insufficient design quality of the new dwelling when compared to the existing cottage, at odds with Principles 6 and 10 of the Residential Streetscape (Built Form) Zone and at odds with the desired character of Policy Area 8 Compact. This is in particular with respect to:
  - lack of space between dwellings due to the width of built form.
  - use of imitative quoinwork and verandah and panel lift door.
  - incorporation of strongly contrasting colours.
- Inadequate integration of the second storey, at odds with Principles 9 of the Residential Streetscape (Built Form) Zone
- Inadequate site coverage at odds with Council Wide Principle 16

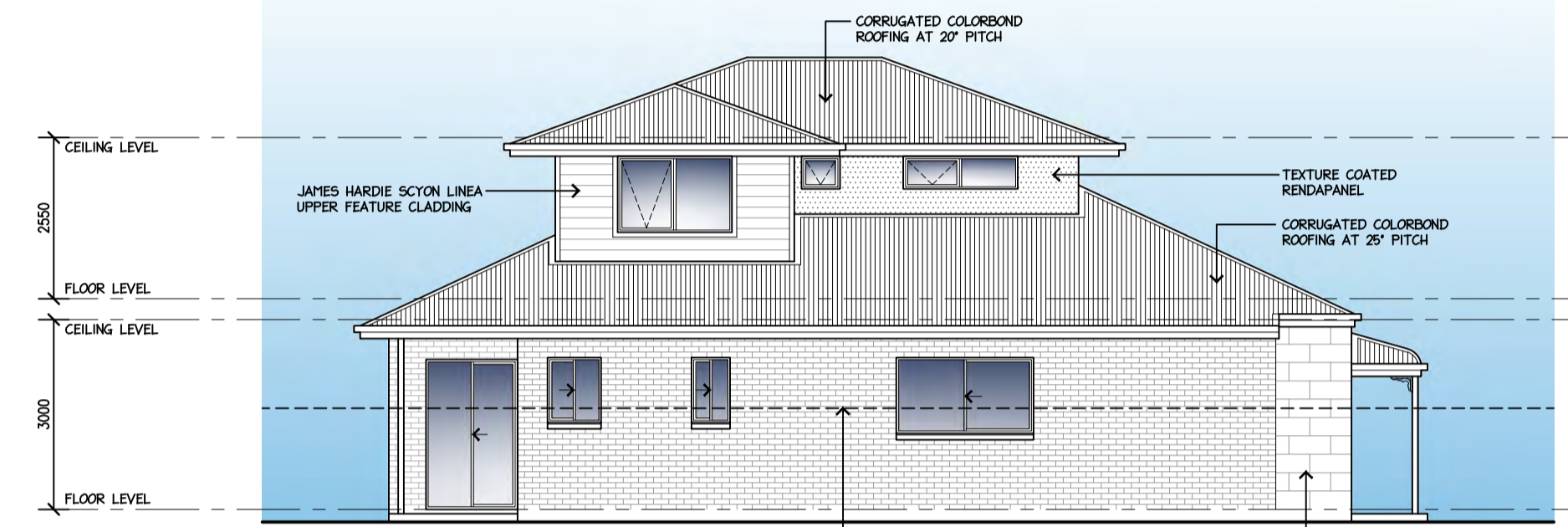
| <b>List of Attachments</b> |                                        | <b>Supplied By:</b> |
|----------------------------|----------------------------------------|---------------------|
| <b>A</b>                   | Application Documents                  | Applicant           |
| <b>B</b>                   | Representations                        | Administration      |
| <b>C</b>                   | Consultant Architect Referral Comments | Administration      |

## ATTACHMENT A

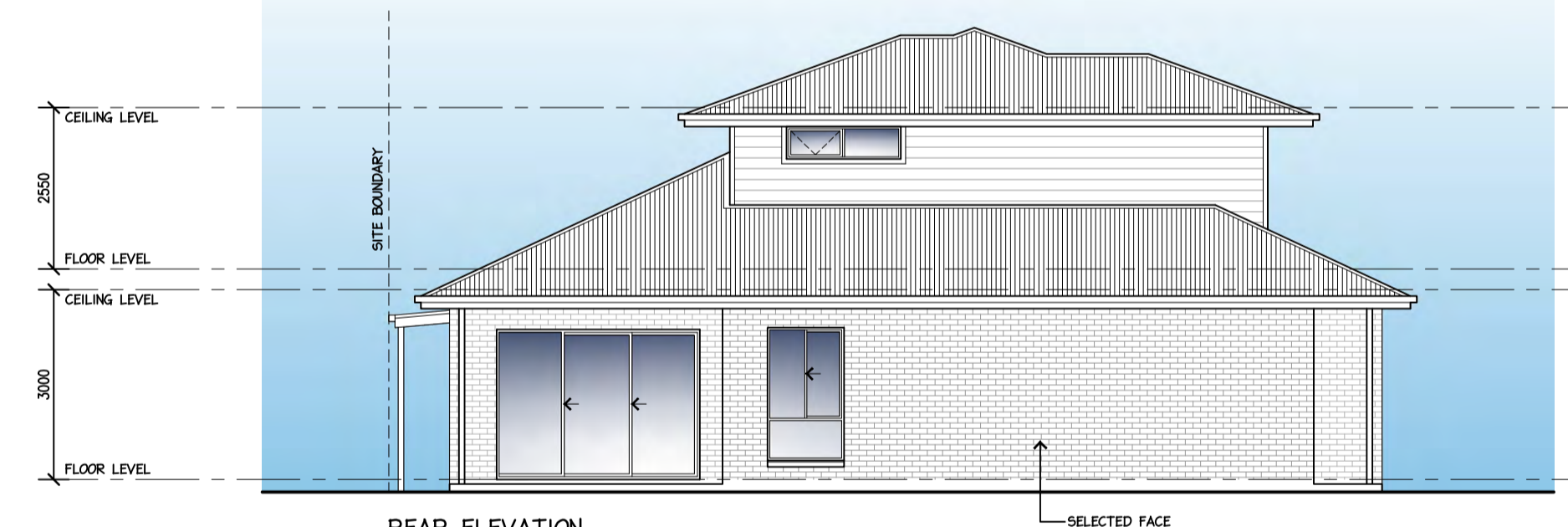
COLORBOND ROOF ON 25° PITCH (LOWER)  
COLORBOND ROOF ON 20° PITCH (UPPER)  
60mm EAVES TO FRONT ELEVATION & 400mm EAVES TO REAR/SIDE (LOWER)  
60mm EAVES TO RENDAPANEL WALLS & 400mm EAVES TO SCOTCH LINE WALLS (UPPER)



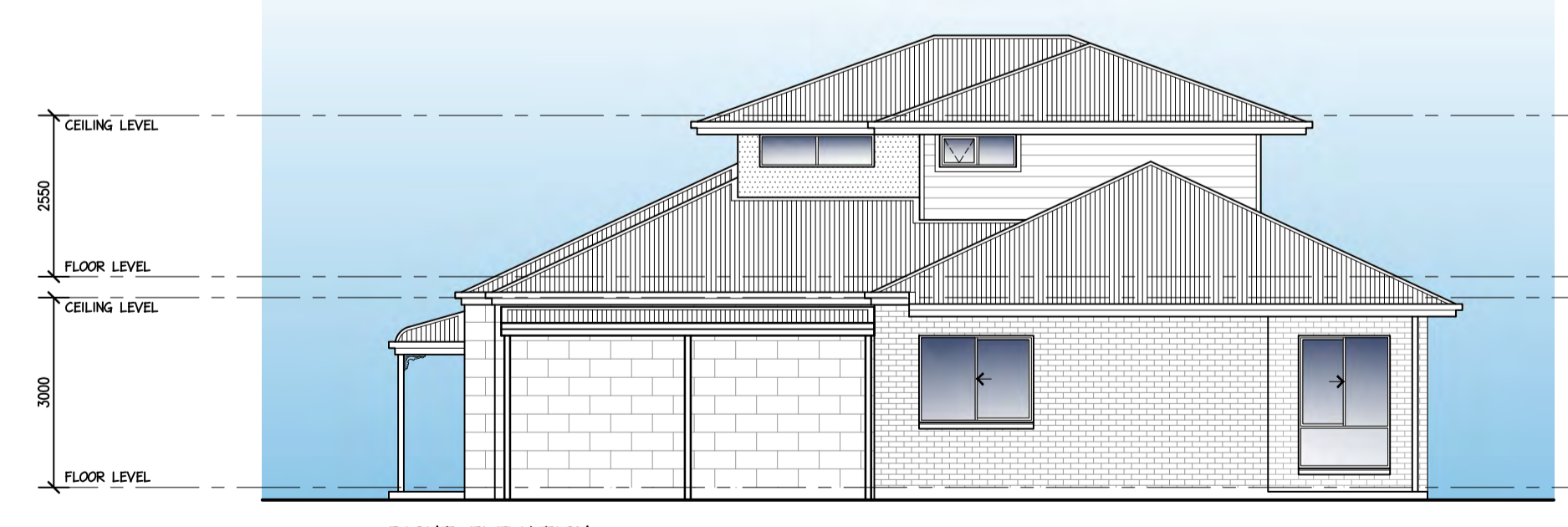
FRONT ELEVATION  
CASTLE STREET PRIMARY FRONTAGE



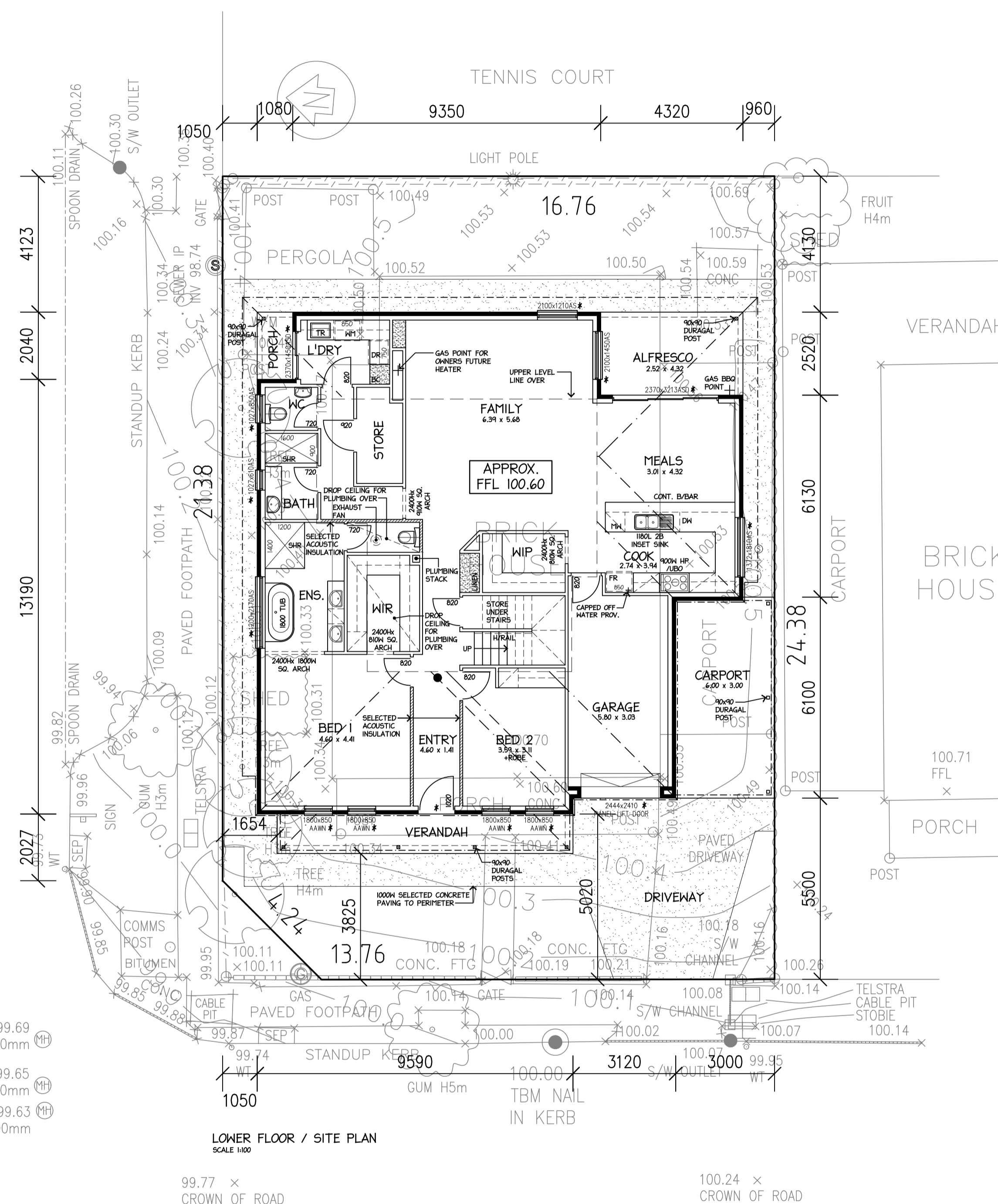
LEFT ELEVATION  
SCOTT STREET SECONDARY FRONTAGE



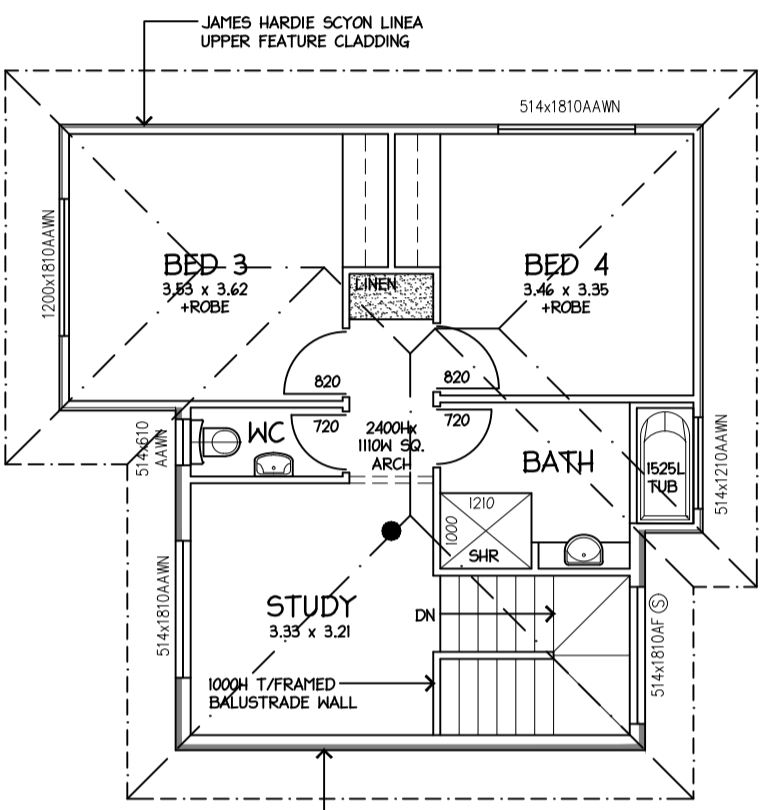
REAR ELEVATION



RIGHT ELEVATION



LOWER FLOOR / SITE PLAN  
SCALE 1:100

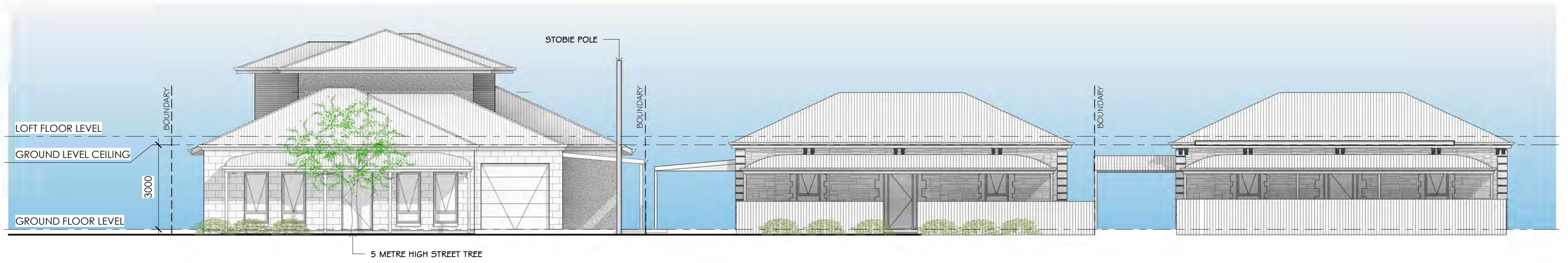


UPPER FLOOR PLAN  
SCALE 1:100

**AMENDED PLAN / DOCUMENT**  
**DATE: 18/03/2021**

|                                                                                                                                |                                                                                          |                             |                                                                                                                                                                                                                                                                      |                 |                      |                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                            |
|--------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------|-----------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|----------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SHEET 1 OF 1<br>PLANNING APPLICATION<br>Job No. 19221<br>DATE: 21.12.20 SCALE: 1:100<br>DRAWN: Bmc JOB TYPE:<br>MASTER UPDATE: | PROPOSED RESIDENCE FOR<br>V. VO<br>A. NGUYEN<br>AT<br>LOT 1<br>CASTLE STREET<br>PARKSIDE | SPECIAL NOTES               | WINDOW LEGEND<br>AS ALUM. HORIZONTAL SLIDING<br>ALUM. JAWING<br>TAIN TAILOR ANIMING<br>ASH ALUM. SINGLE HUNG<br>TSH TIMBER SINGLE HUNG<br>ADH ALUM. DOUBLE HUNG<br>TDH TIMBER DOUBLE HUNG<br>AT ALUM. FIXED SASH<br>TF TIMBER FIXED SASH<br>* BRICKWORK OVER OPENING | AMENDMENT DATES | AREAS m <sup>2</sup> | STANDARD ROSSDALE HOMES WINDOW SIZES ONLY<br>NOTED ON PLAN. NORMAL STANDARD WINDOW SIZES<br>MAY CHANGE.<br>THIS DRAWING IS TO BE READ STRICTLY IN<br>CONJUNCTION WITH BUILDING & SELECTION SCHEDULES<br>REFER TO ENGINEERS REPORT | <br><br>Rossdale Homes Pty Ltd<br>ACN 605 508 727<br>Builders License No. 02814<br>385 ELLERSBERRY RD.<br>FULLERTON, SA 5063<br>Phone: 08 8453 2000<br>Fax: 08 8453 2099<br>GOSTREY SMITH DESIGN |
|                                                                                                                                | DATE: 21.12.20 SCALE: 1:100                                                              | DATE: 21.12.20 SCALE: 1:100 |                                                                                                                                                                                                                                                                      |                 |                      |                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                            |

CONTRACT PLAN  
 OWNER:  
 DATE:  
 BUILDER:  
 DATE:  
 MANHOLE 500mm  
 MANHOLE 500mm  
 MANHOLE 500mm  
 MANHOLE 600mm

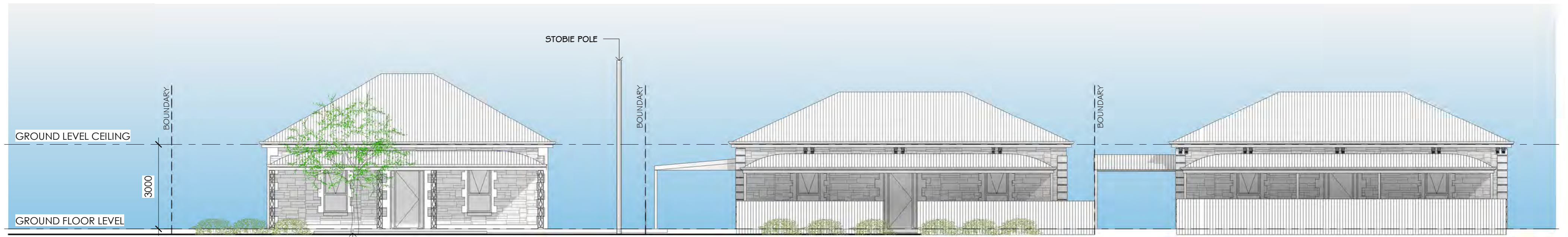


CASTLE ST. ELEVATION  
SCALE 1 : 100

55 CASTLE ST. (PROPOSED RESIDENCE)

57 CASTLE ST.

59 CASTLE ST.

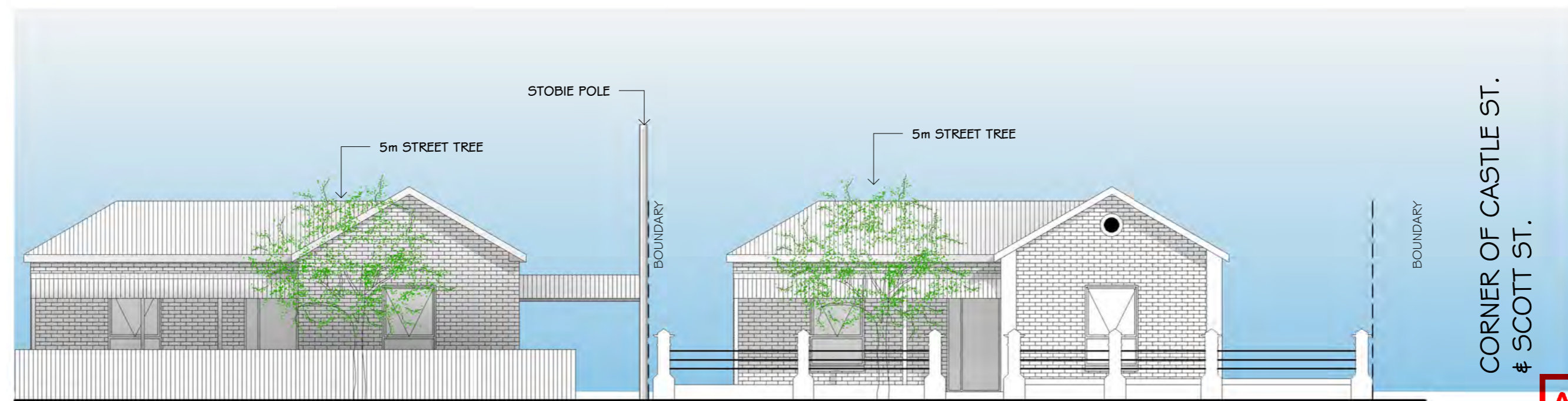


CASTLE ST. ELEVATION  
SCALE 1 : 100

55 CASTLE ST. (EXISTING RESIDENCE)

57 CASTLE ST.

59 CASTLE ST.



OPPOSITE SIDE OF CASTLE ST.  
SCALE 1 : 100

54 CASTLE ST.

52 CASTLE ST.

**AMENDED PLAN / DOCUMENT  
DATE: 18/03/2021**

|                             |                     |
|-----------------------------|---------------------|
| SHEET 1 OF 6<br>STREETSCAPE |                     |
| Job No. 19221               |                     |
| DATE: 23/08/19              | SCALE: 1 : 100      |
| DRAWN: TW                   | JOB TYPE: 5,7 & 6.4 |

|                                               |
|-----------------------------------------------|
| PROPOSED RESIDENCE FOR<br>VU VO + ANNA NGUYEN |
| AT<br>LOT 1, NO. 55 CASTLE ST.<br>PARKSIDE    |

|                 |
|-----------------|
| AMENDMENT DATES |
| 04/03/20 TW     |
| 12/01/21 TW     |

|                                                                      |
|----------------------------------------------------------------------|
| ● DENOTES DIRECT WIRED SMOKE ALARM                                   |
| Ⓢ DENOTES FULL HT BRICK CONTROL JOINT.<br>-REFER TO ENGINEERS REPORT |
| AREAS M <sup>2</sup>                                                 |

|                             |
|-----------------------------|
| LEGEND:                     |
| AS ALUM. HORIZONTAL SLIDING |
| AAWN ALUM. AWNING           |
| TAWN TIMBER AWNING          |
| ASH ALUM. SINGLE HUNG       |
| TSH TIMBER SINGLE HUNG      |
| ADH ALUM. DOUBLE HUNG       |
| TDH TIMBER DOUBLE HUNG      |
| AF ALUM. FIXED SASH         |
| TF TIMBER FIXED SASH        |
| * BRICKWORK OVER OPENING    |

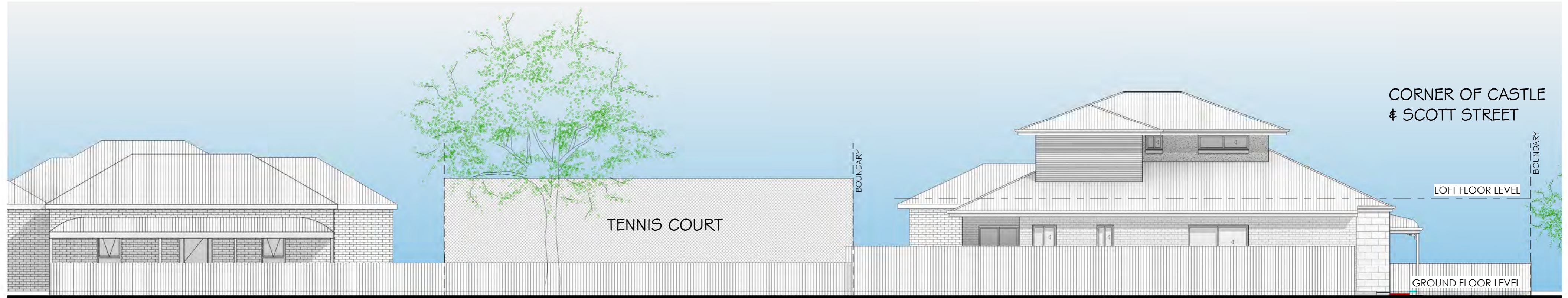
|                                                                                                                                                                                      |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.                                                                                   |
| THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES                                                                                               |
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300 GLEN OSMOND RD.  
FULLARTON, SA 5063  
Phone: 08 8433 2000  
Fax: 08 8433 2099

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Secure trust & a smile

**gSd.**  
GOOSTREY SMITH DESIGN

Plans prepared by:  
Goostrey Smith Design  
ABN 14 912 180 232  
302 GLEN OSMOND RD.  
FULLARTON SA 5063  
p+61 8 8338 6888  
www.goostrey-smith.com.au



19 SCOTT ST.

SCOTT ST. ELEVATION  
SCALE 1 : 100

55 CASTLE ST. (PROPOSED RESIDENCE)



CORNER OF CASTLE & SCOTT STREET  
SCALE



GARAGE SIDE OF HOUSE  
SCALE

**AMENDED PLAN / DOCUMENT  
DATE: 18/03/2021**

|                                                                                                                           |                                                                                             |                                               |                                                                                                                                    |                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                        |
|---------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------|-----------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SHEET 2 OF 6<br>STREETSCAPE & 3D IMAGE<br>Job No. 19221<br>DATE: 23/08/19 SCALE: 1 : 100<br>DRAWN: TW JOB TYPE: 5,7 & 6,4 | PROPOSED RESIDENCE FOR<br>VU VO + ANNA NGUYEN<br>AT<br>LOT 1, NO. 55 CASTLE ST.<br>PARKSIDE | AMENDMENT DATES<br>04/03/20 TW<br>12/01/21 TW | ● DENOTES DIRECT WIRED SMOKE ALARM<br>Ⓢ DENOTES FULL HT BRICK CONTROL JOINT.<br>-REFER TO ENGINEERS REPORT<br>AREAS M <sup>2</sup> | <b>LEGEND:</b><br>AS ALUM. HORIZONTAL SLIDING<br>AAWN ALUM. AWNING<br>TAWN TIMBER AWNING<br>ASH ALUM. SINGLE HUNG<br>TSH TIMBER SINGLE HUNG<br>ADH ALUM. DOUBLE HUNG<br>TDH TIMBER DOUBLE HUNG<br>AF ALUM. FIXED SASH<br>TF TIMBER FIXED SASH<br>X BRICKWORK OVER OPENING | - STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.<br>- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES<br>ALL FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.<br>NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.<br>© THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY GOOSTREY SMITH DESIGN PTY LTD. | <br>Rossdale Homes Pty. Ltd<br>ACN 007 936 727<br>Builders Licence No. G8104<br>300 GLEN OSMOND RD.<br>FULLARTON, SA 5063<br>Phone: 08 8433 2000<br>Fax: 08 8433 2099<br><br><br>GOOSTREY SMITH DESIGN<br>Plans prepared by:<br>Goostrey Smith Design<br>480/14/02/18/212<br>302 GLEN OSMOND RD.<br>FULLARTON, SA 5063<br>p+61 8 8433 6888<br>www.goostreysmith.com.au |
|                                                                                                                           | Document Set ID: 7658215<br>Version: 1, Version Date: 18/03/2021                            |                                               |                                                                                                                                    |                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                        |

# External Colour Selections

**Consultant:**

**Date: 24.2.20**

**Client Name:** Vu Vo and Anna Nguyen

**Phone:**

**Job Number:**

**Email:**

**Building Address:** Lot 1 (55) Castle Street Parkside

\* Refer to your builder for upgrade queries & costing\*

## BRICK / RENDER SELECTION:

**Main Brick:** Front- sandstone with white rendered quoins - Sides and Rear PGH Nougat (sandstone coloured brick)

**Joint Type:** Raked mortar

**Mortar Colour<sup>i</sup>:** Brighton lite – yellow sand

**Render Colour façade:** Quoins - white

**Portico Feature Material:** Board and battens to gables with painted posts - All Surfemist

## ROOF, GUTTERS and WINDOWS:

**Roofing Material:** Colorbond

**Profile:** Custom Orb

**Colour:** Monument

**Gutter Colour:** Monument

**Fascia Colour:** Surfemist

**Window / Sliding Doors Colour:** Monument

**AMENDED PLAN / DOCUMENT  
DATE: 18/03/2021**

## EXTERNAL PAINT SELECTION:

**Front Door:** Timber – clear finish

**Down Pipes/Meter Box:** Monument

**Rain heads:** N/A

**Eaves/ Linings:** Surfemist

## GARAGE AND CARPORT DOORS:

**Panel Lift profile:** B and D Nullabor (Larger horizontal panels)

**Front Panel lift Colour:** Surfemist

**RECOMMENDED PAVER SELECTION:** Grey exposed aggregate concrete "Billabong"

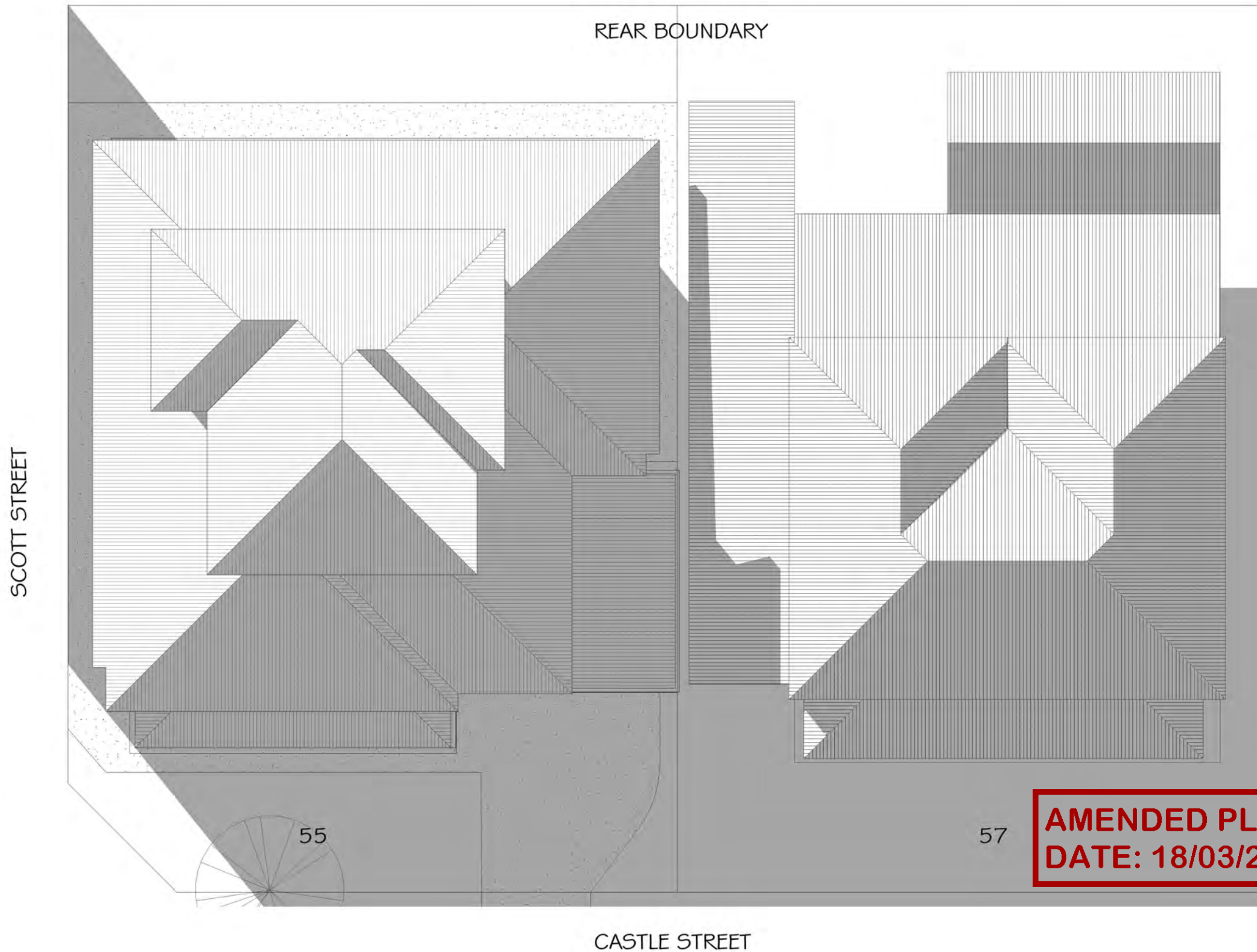
<sup>i</sup> Clay bricks are a natural kiln fired product and as such are subject to variation and chipping. All endeavours are made to match the colour of the clay products on display and minimize chipping, but some variance may occur.

<sup>ii</sup> Mortar is a hand mixed product and is therefore subject to variation.



DATE: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 OWNER: \_\_\_\_\_  
 DATE: \_\_\_\_\_

TENNIS COURT



**AMENDED PLAN / DOCUMENT  
 DATE: 18/03/2021**

|                     |                     |
|---------------------|---------------------|
| SHEET 3 OF 6        |                     |
| WINTER SOLSTICE 9am |                     |
| Job No. 19221       |                     |
| DATE: 23/08/19      | SCALE: 1:100        |
| DRAWN: TW           | JOB TYPE: 5.7 & 6.4 |

PROPOSED RESIDENCE FOR  
 VU VO + ANNA NGUYEN

AT  
 LOT 1, NO. 55 CASTLE ST.  
 PARKSIDE

AMENDMENT DATES

04/03/20 TW  
 12/01/21 TW

AREAS M<sup>2</sup>

- DENOTES DIRECT WIRED SMOKE ALARM
- Ⓒ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT

LEGEND:

|      |                          |
|------|--------------------------|
| AS   | ALUM. HORIZONTAL SLIDING |
| AAWN | ALUM. AWNING             |
| TAWN | TIMBER AWNING            |
| ASH  | ALUM. SINGLE HUNG        |
| TSH  | TIMBER SINGLE HUNG       |
| ADH  | ALUM. DOUBLE HUNG.       |
| TDH  | TIMBER DOUBLE HUNG       |
| AF   | ALUM. FIXED SASH         |
| TF   | TIMBER FIXED SASH        |
| *X   | BRICKWORK OVER OPENING   |

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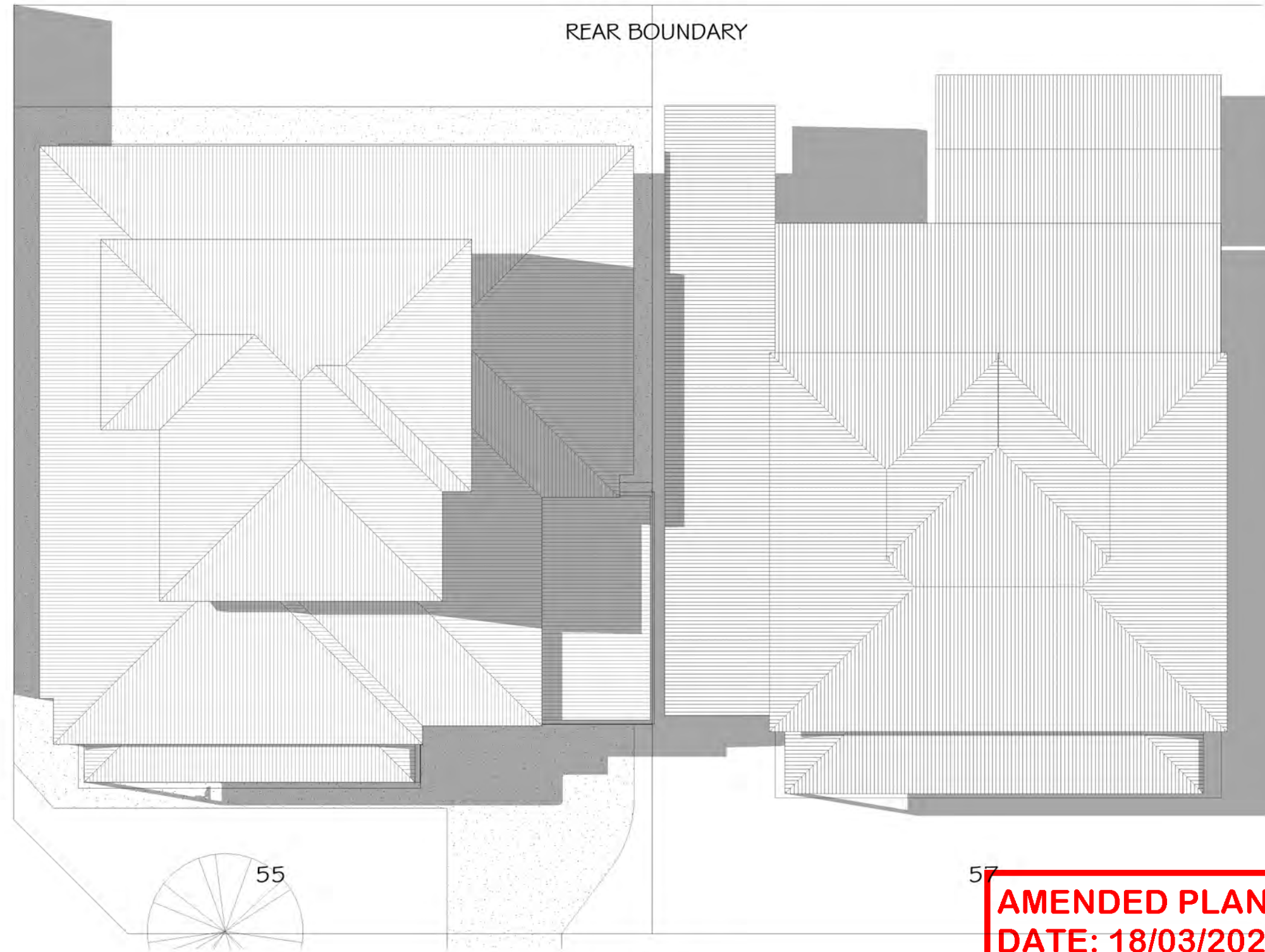
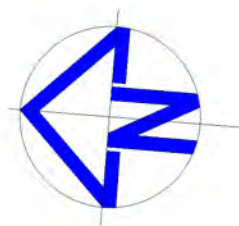
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DATE: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 OWNER: \_\_\_\_\_  
 DATE: \_\_\_\_\_

TENNIS COURT

SCOTT STREET

REAR BOUNDARY

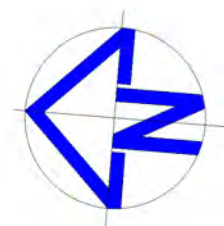
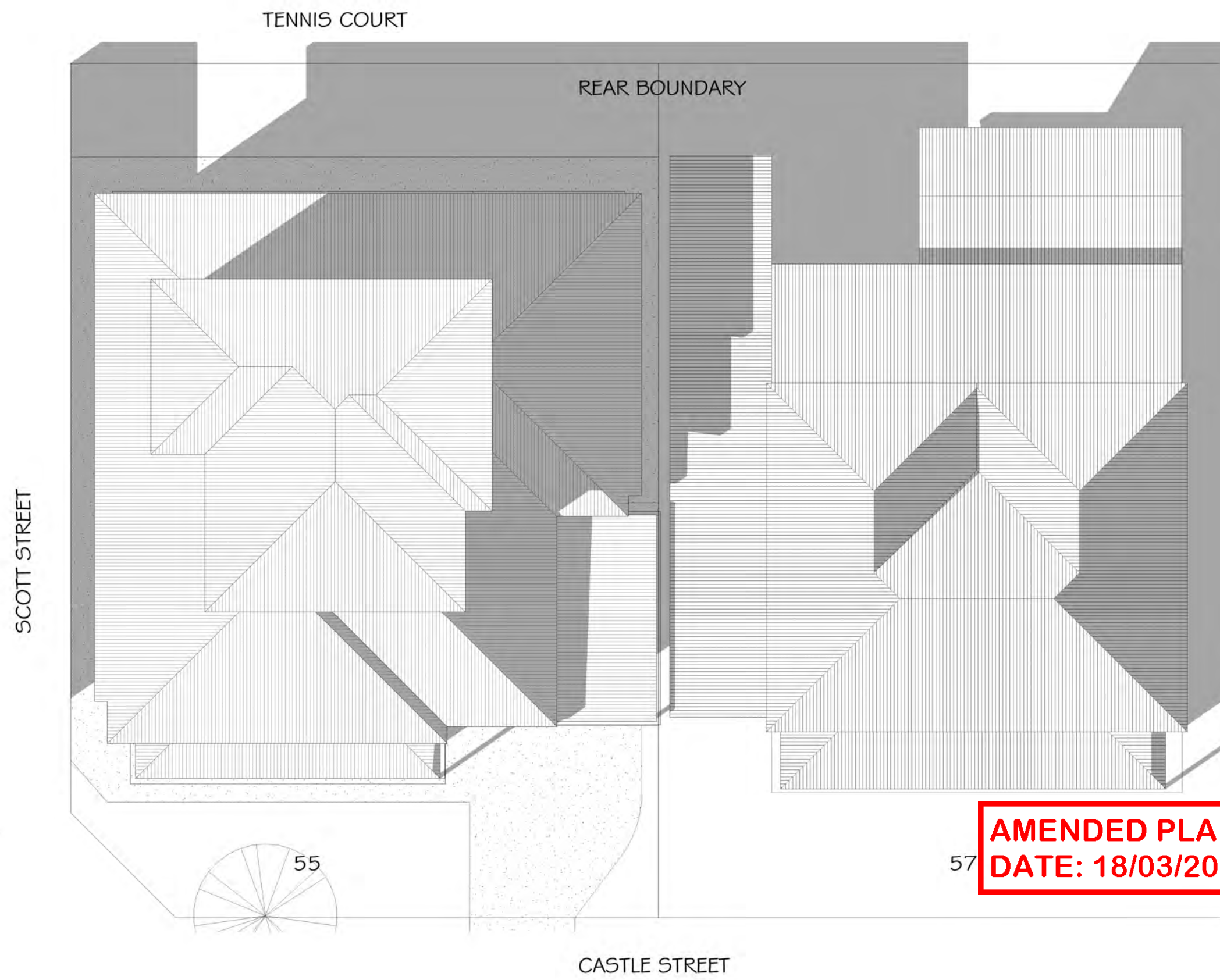


CASTLE STREET

**AMENDED PLAN / DOCUMENT  
 DATE: 18/03/2021**

|                                      |                     |                                                                                                 |                                                   |                                                                                                                                                                                                  |                                                                                                                |                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                   |
|--------------------------------------|---------------------|-------------------------------------------------------------------------------------------------|---------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SHEET 4 OF 6<br>WINTER SOLSTICE 12pm |                     | PROPOSED RESIDENCE FOR<br>VU VO + ANNA NGUYEN<br><br>AT<br>LOT 1, NO. 55 CASTLE ST.<br>PARKSIDE | AMENDMENT DATES<br><br>04/03/20 TW<br>12/01/21 TW |                                                                                                                                                                                                  | ● DENOTES DIRECT WIRED SMOKE ALARM<br><br>© DENOTES FULL HT BRICK CONTROL JOINT.<br>-REFER TO ENGINEERS REPORT | <b>LEGEND:</b><br><br>AS ALUM. HORIZONTAL SLIDING<br>AAWN ALUM. AWNING<br>TAWN TIMBER AWNING<br>ASH ALUM. SINGLE HUNG<br>TSH TIMBER SINGLE HUNG<br>ADH ALUM. DOUBLE HUNG.<br>TDH TIMBER DOUBLE HUNG<br>AF ALUM. FIXED SASH<br>TF TIMBER FIXED SASH<br>* BRICKWORK OVER OPENING | - STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.<br>- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES<br><br>ALL FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.<br>NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.<br><br>© THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY GOOSTREY SMITH DESIGN PTY LTD. | <br>Rossdale Homes Pty. Ltd<br>ACN 007 936 727<br>Builders Licence No. G8104<br>300 GLEN OSMOND RD., FULLARTON, SA 5063<br>Phone: 08 8433 2000<br>Fax: 08 8433 2099<br><br><br>Plans prepared by:<br>Goostrey Smith Design<br>ABN 14 092 583 232<br>302 GLEN OSMOND RD., FULLARTON, SA 5063<br>p+61 8 8433 2000<br>www.goostreysmithdesign.com.au |
| Job No. 19221                        |                     |                                                                                                 | AREAS M <sup>2</sup>                              | - STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.<br>- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES |                                                                                                                |                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                   |
| DATE: 23/08/19                       | SCALE: 1:100        |                                                                                                 |                                                   |                                                                                                                                                                                                  |                                                                                                                |                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                   |
| DRAWN: TW                            | JOB TYPE: 5.7 & 6.4 |                                                                                                 |                                                   |                                                                                                                                                                                                  |                                                                                                                |                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                   |

DATE: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 OWNER: \_\_\_\_\_  
 DATE: \_\_\_\_\_



**AMENDED PLAN / DOCUMENT**  
**DATE: 18/03/2021**

|                                     |                                                                  |                                                                                                 |                                               |                                                                                                                                                                      |                                                                                                                                                                 |                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                 |
|-------------------------------------|------------------------------------------------------------------|-------------------------------------------------------------------------------------------------|-----------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SHEET 5 OF 6<br>WINTER SOLSTICE 3pm |                                                                  | PROPOSED RESIDENCE FOR<br>VU VO + ANNA NGUYEN<br><br>AT<br>LOT 1, NO. 55 CASTLE ST.<br>PARKSIDE | AMENDMENT DATES<br>04/03/20 TW<br>12/01/21 TW |                                                                                                                                                                      | ● DENOTES DIRECT WIRED SMOKE ALARM<br>(C) DENOTES FULL HT BRICK CONTROL JOINT.<br>-REFER TO ENGINEERS REPORT                                                    | <b>LEGEND:</b><br>AS ALUM. HORIZONTAL SLIDING<br>AAWN ALUM. AWNING<br>TAWN TIMBER AWNING<br>ASH ALUM. SINGLE HUNG<br>TSH TIMBER SINGLE HUNG<br>ADH ALUM. DOUBLE HUNG<br>TDH TIMBER DOUBLE HUNG<br>AF ALUM. FIXED SASH<br>TF TIMBER FIXED SASH<br>* BRICKWORK OVER OPENING | - STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.<br>- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES<br><br>ALL FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.<br>NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.<br>© THESE DRAWINGS ARE SUBJECT TO COPYRIGHT. LEGAL ACTION WILL BE TAKEN AGAINST ANY INFRINGEMENT IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN BY GOOSTREY SMITH DESIGN PTY LTD. | Rossdale Homes Pty. Ltd<br>ACN 007 936 727<br>Builders Licence No. G8104<br>300 GLEN OSMOND RD., FULLARTON, SA 5063<br>Phone: 08 8433 2000<br>Fax: 08 8433 2099 |
| Job No. 19221                       | DATE: 23/08/19   SCALE: 1:100                                    |                                                                                                 | AREAS M <sup>2</sup>                          | Plans prepared by:<br>Goostrey Smith Design<br>ABN 14 092 583 232<br>302 GLEN OSMOND RD.<br>FULLARTON, SA 5063<br>p+61 8 8433 2000<br>www.goostreysmithdesign.com.au |                                                                                                                                                                 |                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                 |
| DRAWN: TW   JOB TYPE: 5.7 & 6.4     | Document Set ID: 7658215<br>Version: 1, Version Date: 18/03/2021 |                                                                                                 |                                               |                                                                                                                                                                      | Rossdale Homes Pty. Ltd<br>ACN 007 936 727<br>Builders Licence No. G8104<br>300 GLEN OSMOND RD., FULLARTON, SA 5063<br>Phone: 08 8433 2000<br>Fax: 08 8433 2099 |                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                 |

SCOTT STREET

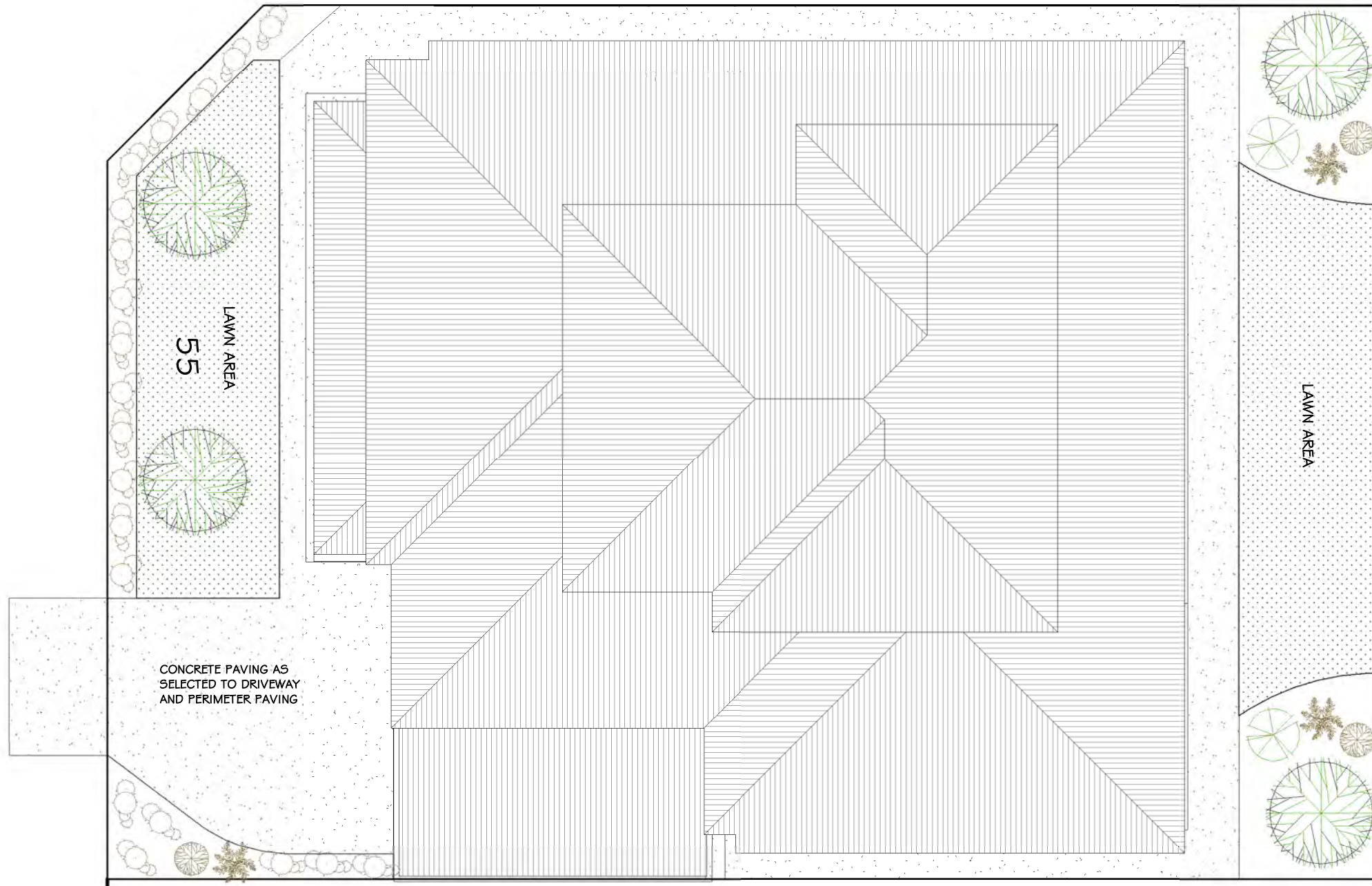
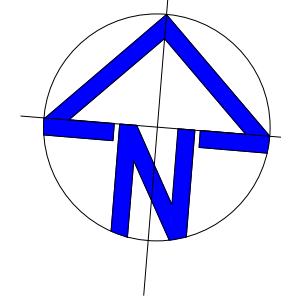
18100

1800H COLORBOND 'GOOD NEIGHBOUR' FENCING

CASTLE STREET

REAR BOUNDARY

TENNIS COURT



CONCRETE PAVING AS  
 SELECTED TO DRIVEWAY  
 AND PERIMETER PAVING

55

LAWN AREA

LAWN AREA

|  |                                                                                          |
|--|------------------------------------------------------------------------------------------|
|  | TALL SHRUBS TO 3M<br>- abelia grandiflora<br>- viburnum burkwoodi<br>- euonymus japonica |
|  | MEDIUM SHRUBS TO 1.5M<br>- correa pulchella<br>- cassia artemisioides<br>- correa alba   |
|  | SMALL SHRUBS TO 1.0M<br>- berberis thunbergii<br>- rosemary cuphea<br>- ignea            |

|                |                    |
|----------------|--------------------|
| SHEET 6 OF 6   |                    |
| LANDSCAPE PLAN |                    |
| Job No. 19221  |                    |
| DATE: 23/08/19 | SCALE: 1 : 100     |
| DRAWN: TW      | JOB TYPE: Approver |

PROPOSED RESIDENCE FOR  
 VU VO + ANNA NGUYEN

AT  
 LOT 1, NO. 55 CASTLE ST.  
 PARKSIDE

AMENDMENT DATES  
 12/01/21 TW

● DENOTES DIRECT WIRED SMOKE ALARM

Ⓢ DENOTES FULL HT BRICK CONTROL JOINT.  
 -REFER TO ENGINEERS REPORT

AREAS M<sup>2</sup>

LEGEND:

AS ALUM. HORIZONTAL SLIDING  
 AAWN ALUM. AWNING  
 TAWN TIMBER AWNING  
 ASH ALUM. SINGLE HUNG  
 TSH TIMBER SINGLE HUNG  
 ADH ALUM. DOUBLE HUNG  
 TDH TIMBER DOUBLE HUNG  
 AF ALUM. FIXED SASH  
 TF TIMBER FIXED SASH  
 ✱ BRICKWORK OVER OPENING

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 302 GLEN OSMOND RD,  
 FULLARTON, SA 5063  
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 www.goostreysmith.com.au

DATE: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 OWNER: \_\_\_\_\_  
 DATE: \_\_\_\_\_

Document Set ID: 7658215  
 Version: 1, Version Date: 18/03/2021



### STORMWATER LAYOUT

#### FMG ENGINEERING

67 GREENHILL ROAD  
 WAYVILLE SA 5034  
 PH (08) 8132 6600 A.B.N. 58 083 071 185

DATE : 29/11/2019 DESIGNED : JT  
 JOB No . S46945/267771 CHECKED :

#### NOTES:

1. THE BENCH LEVEL HAS BEEN CHOSEN BY OTHERS.
2. EXCAVATE THE SITE TO PROVIDE A LEVEL PLATFORM BL.
3. GRADE BANKS 1 : 2 MAX U.N.O.
4. SLOPE PATHS AWAY FROM FOOTINGS.  
 1 : 100 FOR UNPAVED AREAS  
 1 : 20 FOR PAVED AREAS
5. PROVIDE ADEQUATE PROTECTION OR COVER TO STORMWATER PIPE (300mm MIN COVER WHERE PIPE IS LIKELY TO BE SUBJECTED TO VEHICULAR LOADING UNLESS PROTECTED BY PAVING ABOVE AND 100mm COVER OTHERWISE). CONTACT THIS OFFICE FOR FURTHER ADVICE IF NO PAVING ABOVE.
6. THE SEWER INVERTS SHOWN HAVE BEEN CALCULATED TO DETERMINE WHETHER ADDITIONAL PIERS TO FOOTINGS MAY BE REQUIRED ONLY. IF SEWER IS TO BE LAYED DEEPER THAN THE INVERT POINTS SHOWN A REVIEW OF THE FOOTING DESIGN IS REQUIRED BY THIS OFFICE.
7. MAXIMUM LEVEL OF FLOOD GULLY TO BE 165mm BELOW F.F.L.
8. STORMWATER DRAIN ----- MIN FALL 1:250
9. OPEN UNLINED SURFACE DRAIN ← MIN FALL 1:100
10. LINED SURFACE DRAIN AT PATH EDGE AT 0.30% FALL, REFER SHEET CD5-1 ←

| No. | AMENDMENT | DATE | BY |
|-----|-----------|------|----|
|     |           |      |    |

#### NOTES:

- ANY RETAINING WALLS SHOWN ARE TO BE CONSTRUCTED BY OWNER AFTER HAND OVER, EXCEPT THOSE THAT ARE NECESSARY FOR THE PHYSICAL CONSTRUCTION OF THE DWELLING.
- RETAIN ANY CUT/FILL ON BOUNDARY WITH MINOR CONCRETE SLEEPER RETAINING WALL OR CONCRETE PLINTH AS/IF REQUIRED (BY OWNER)
- PAVING MUST BE PROVIDED TO THE PERIMETER OF THE HOUSE ACCORDING TO DETAIL SHEET CD5-1

1 X 3500L COMBINATION RETENTION (2000L)/RETENTION (1500L) TANK. 30mm ORIFICE TO DETENTION OUTLET.  
 DP ① TO ④ TO TANK (MIN 60% OF ROOF AREA) ENSURE ANY FILL PLACED UNDER TANK STAND LOCATIONS IS PLACED AT LEAST AS "ROLLED" FILL. HOWEVER SOME SETTLEMENT MAY OCCUR IF "CONTROLLED" FILL IS NOT USED OR IF BASE SUPPORT IS NOT PIERED TO FIRM NATURAL GROUND.

- TANK INLET PIPE SEALED SYSTEM (REFER SHEET DD2)
- TANK OVERFLOW PIPE, SURFACE STORMWATER AND REMAINDER OF DP'S TO STREET W.T. VIA GRAVITY FLOW

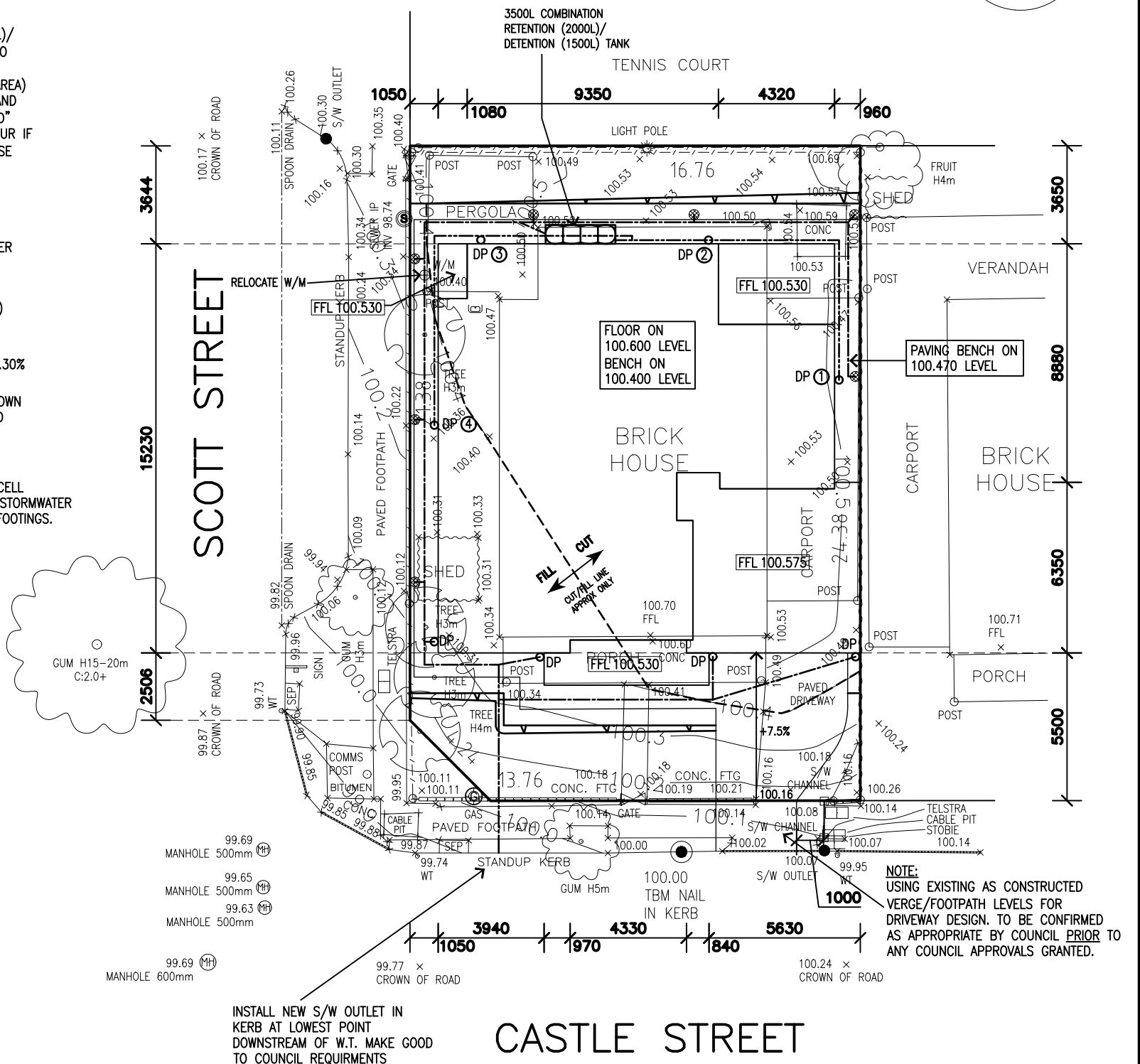
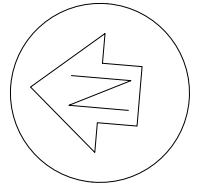
⊗ 900 GRATED SURFACE S/W SUMP (TYPICAL)

GRADE PAVING AND FILL AND/OR GRADE GROUND TO SUMP LOCATIONS OR PROVIDE LINED SPOON DRAIN BETWEEN SUMPS AT 0.30% FALL-REFER SHEET CD5-1 AND DD1

THE NUMBER AND LOCATION OF SUMPS SHOWN ON THIS DRAWING ARE INDICATIVE ONLY AND MAY CHANGE SUBJECT TO ACTUAL SITE CONDITIONS AND THE EXTENT AND TYPE OF PAVEMENTS SELECTED.

LAGGING : H2-D - 40mm THICK CLOSED-CELL POLYETHYLENE LAGGING REQUIRED AROUND STORMWATER AND SEWER PIPES PASSING THROUGH ALL FOOTINGS.

**IMPORTANT NOTE:**  
 USE ALTERNATIVE FLEXIBLE CONNECTION AT DP TO DRAIN PIPE JUNCTION (REFER ACCOMPANYING SHEET)



**AMENDED PLAN / DOCUMENT**  
**DATE: 18/03/2021**

CONTOUR SURVEY SITE DETAILS:  
**#55 CASTLE STREET**  
**PARKSIDE**

THIS IS NOT A BOUNDARY SURVEY, THEREFORE THE RELATIONSHIP BETWEEN OCCUPATION & THE PLOTTED BOUNDARY IS INDICATIVE ONLY. WHILE EVERY PRECAUTION IS TAKEN BY MATTSSON & MARTYN TO ENSURE TREE POSITIONS & DIMENSIONS ARE SHOWN ACCURATELY, THESE MEASUREMENTS ARE ESTIMATES & SHOULD BE USED AS A GUIDE ONLY.  
 TREE DIMENSIONS ARE NOTED AS: H: TREE HEIGHT S: TREE CANOPY SPREAD  
 B: TRUNK DIAMETER C: TRUNK CIRCUMFERENCE

PROJECT REF: 15842/07/19 DATE DRAWN: 05/08/19 DRAWN BY: SA A3

TBM: NAIL IN STANDUP KERB RL 100.00 CONTOUR INTERVAL: 0.100

|                        |                  |                    |                       |
|------------------------|------------------|--------------------|-----------------------|
| ● TEMPORARY BENCH MARK | □ CABLE PIT      | ~ GI FENCE         | ○○○○○○○○ BRUSH FENCE  |
| ⊥ STOBIE               | ● PIN/SPIKE/NAIL | - - - - - TF FENCE | ▬▬▬▬▬▬ RETAINING WALL |
| ⊕ WATER METER          | ■ PEG FOUND      | 0 2 4 6 8 10       |                       |
| ⊙ SEWER IP             | ■ PSM            | SCALE: 1:200       | m                     |
| Ⓧ ELECTRICITY          | ⊙ GAS            |                    |                       |

#### CONTRACT PLAN

OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_ OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_ BUILDER: \_\_\_\_\_ DATE: \_\_\_\_\_

HP JOB No. 19221S- GEOFF



## Certificate of Title

**Title Reference** CT 5137/849  
**Status** CURRENT  
**Easement** NO  
**Owner Number** 16263630  
**Address for Notices** 35 SCOTT ST PARKSIDE, SA 5063  
**Area** 404M<sup>2</sup> (CALCULATED)

## Estate Type

Fee Simple

## Registered Proprietor

NAOMI LISA VO  
OF 35 SCOTT STREET PARKSIDE SA 5063  
99 / 100 SHARE

VU NGOC VO  
OF 35 SCOTT STREET PARKSIDE SA 5063  
1 / 100 SHARE

## Description of Land

ALLOTMENT 1 DEPOSITED PLAN 37115  
IN THE AREA NAMED PARKSIDE  
HUNDRED OF ADELAIDE

## Last Sale Details

**Dealing Reference** Transfer (T) 12608697  
**Dealing Date** 16/09/2016  
**Sale Price** \$732,000  
**Sale Type** Full Value / Consideration and Whole of Land

## Constraints

### Encumbrances

| Dealing Type | Dealing Number | Beneficiary                                                   |
|--------------|----------------|---------------------------------------------------------------|
| MORTGAGE     | 12608698       | AUSTRALIA & NEW ZEALAND BANKING GROUP LTD. (ACN: 005 357 522) |

### Stoppers

NIL

## Valuation Numbers



| Valuation Number | Status  | Property Location Address              |
|------------------|---------|----------------------------------------|
| 0915360303       | CURRENT | 55 CASTLE STREET, PARKSIDE,<br>SA 5063 |

## Notations

### Dealings Affecting Title

NIL

### Notations on Plan

NIL

### Registrar-General's Notes

NIL

### Administrative Interests

NIL

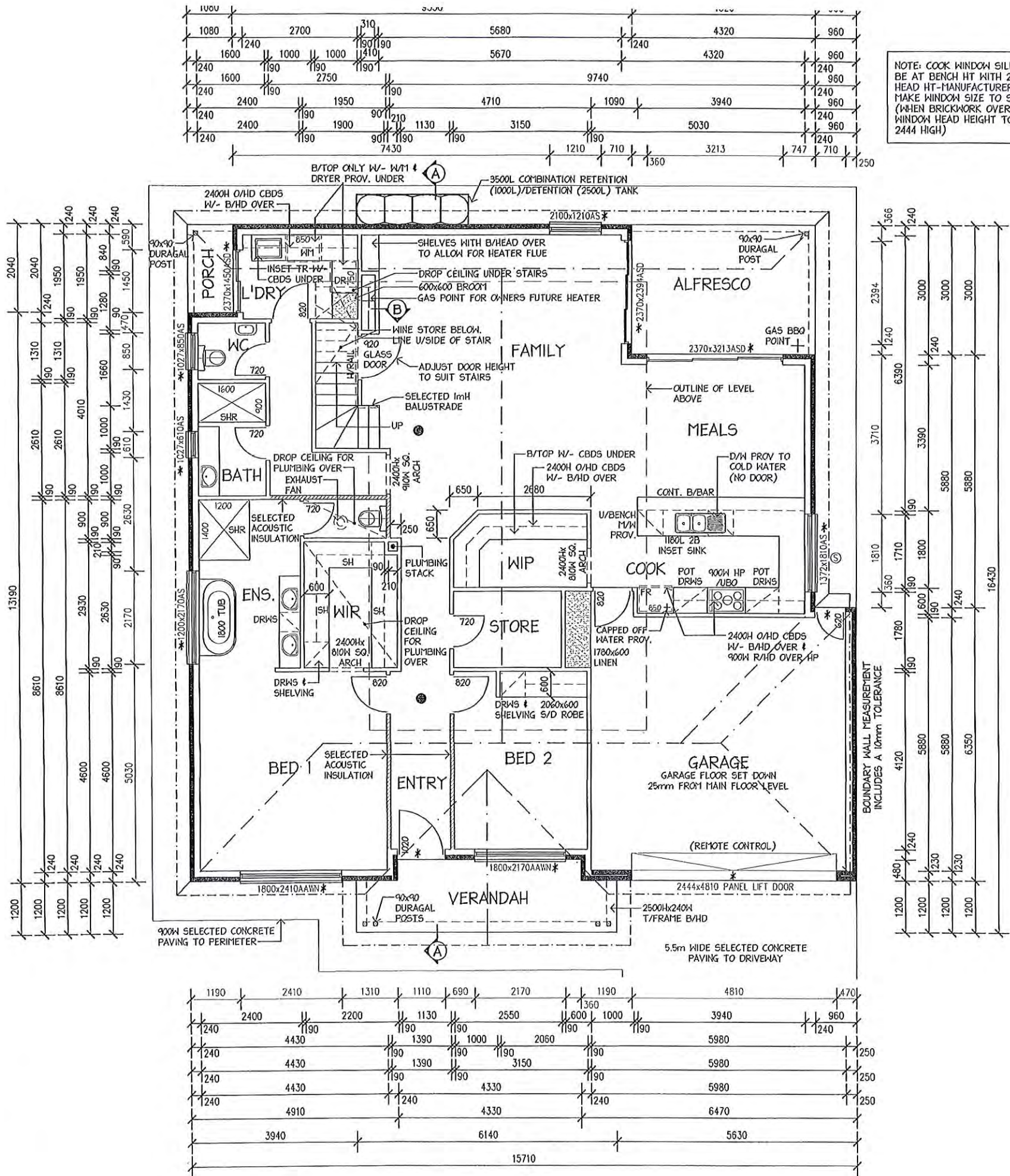
CONTRACT PLAN  
OWNER:

DATE: \_\_\_\_\_ OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

BUILDER: \_\_\_\_\_

DATE: \_\_\_\_\_



NOTE: COOK WINDOW SILL TO BE AT BENCH HT WITH 2400 HEAD HT-MANUFACTURER TO MAKE WINDOW SIZE TO SUIT (WHEN BRICKWORK OVER, WINDOW HEAD HEIGHT TO BE 2444 HIGH)

**GROUND FLOOR PLAN**

Job No. 19221WD  
 PROPOSED RESIDENCE FOR  
 V. VO  
 A. NGUYEN  
 AT  
 LOT 1  
 CASTLE STREET  
 PARKSIDE

MASTER UPDATE:  
 TYPE:  
 DATE: 17.10.19 SCALE: 1:100  
 DRAWN: CN JOB TYPE: 3.3

**SPECIAL NOTES**  
**WINDOW LEGEND**  
 AS ALUM. HORIZONTAL SLIDING  
 AAWN ALUM. AWNING  
 TAWN TIMBER AWNING  
 ASH ALUM. SINGLE HUNG  
 TSH TIMBER SINGLE HUNG  
 ADH ALUM. DOUBLE HUNG  
 TDH TIMBER DOUBLE HUNG  
 AF ALUM. FIXED SASH  
 TF TIMBER FIXED SASH  
 \* BRICKWORK OVER OPENING

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⊙ DENOTES DIRECT WIRED SMOKE ALARM  
 ⊕ DENOTES FULL HT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT

| AREAS m <sup>2</sup> |               |
|----------------------|---------------|
| GL LIVING            | 173.42        |
| UL LIVING            | 72.71         |
| ALFRESCO             | 12.96         |
| PORCH                | 2.20          |
| GARAGE               | 40.08         |
| VERANDAH             | 9.44          |
| <b>TOTAL</b>         | <b>310.81</b> |

**AMENDMENT DATES**  
 II.II.19 - BD

Rossdale Homes Pty Ltd  
 ACN 007 936 727  
 Builders Licence No. 68104  
 300 GLEN OSWIND RD,  
 FULLARTON, SA 5063  
 Phone: 08 8433 2000  
 Fax: 08 8433 2099

GOSTREYSMITH DESIGN  
 Plans prepared by  
 Gostrey Smith Design  
 ABN 16 692 583 732  
 302 GLEN OSWIND RD,  
 FULLARTON, SA 5063  
 p: +61 8 8338 6888  
 www.gostrey-smith.com.au

FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.  
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SUPERSEDED



CONTRACT PLAN

OWNER: \_\_\_\_\_

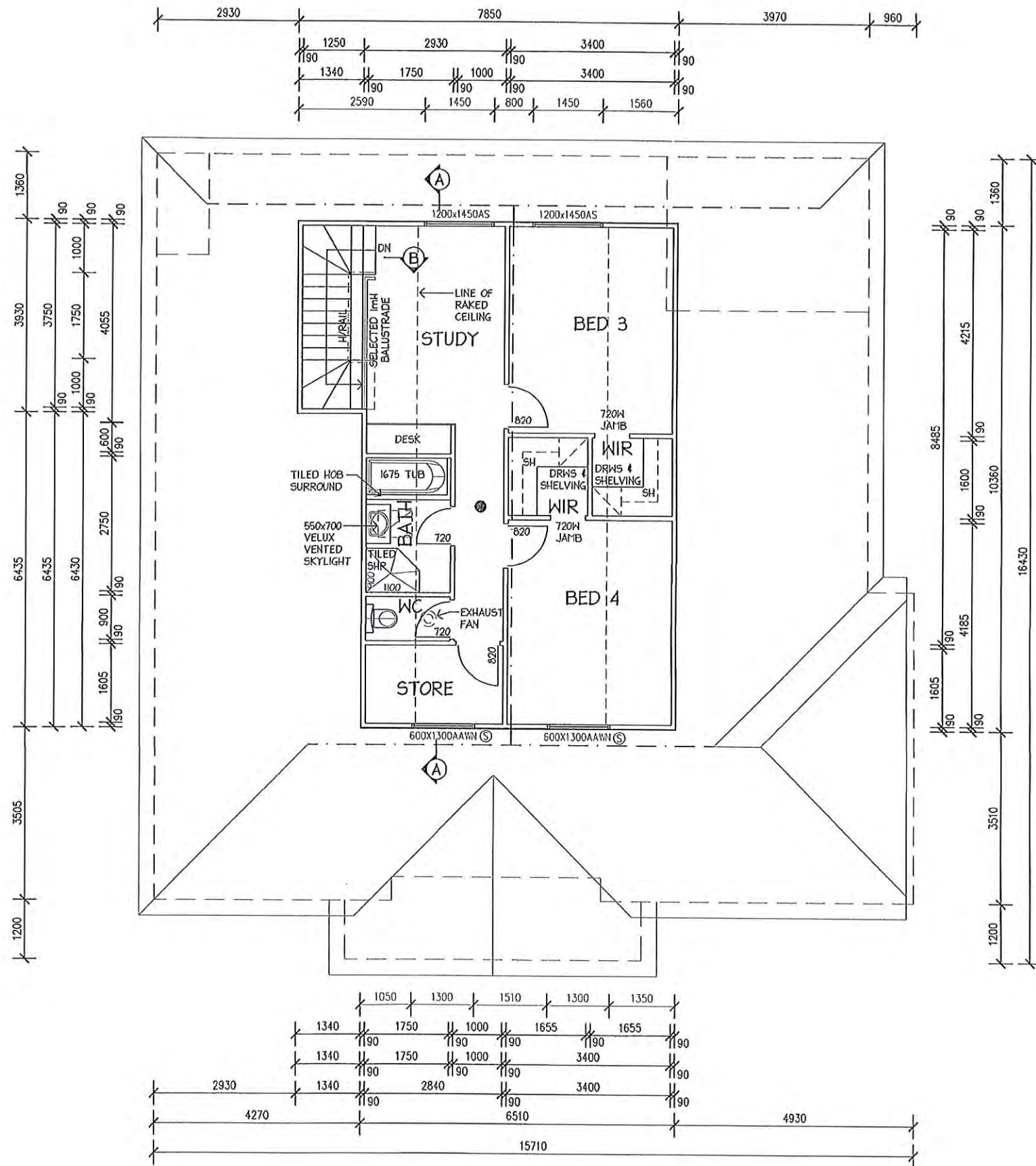
DATE: \_\_\_\_\_

OWNER: \_\_\_\_\_

DATE: \_\_\_\_\_

BUILDER: \_\_\_\_\_

DATE: \_\_\_\_\_



UPPER FLOOR PLAN

Job No. 19221WD

PROPOSED RESIDENCE FOR  
V. VO  
A. NGUYEN  
AT  
LOT 1  
CASTLE STREET  
PARKSIDE

MASTER UPDATE:  
TYPE:

DATE: 17.10.19 SCALE: 1:100

DRAWN: CN JOB TYPE: 3.3

SPECIAL NOTES

**WINDOW LEGEND**

|      |                          |
|------|--------------------------|
| AS   | ALUM. HORIZONTAL SLIDING |
| AAWN | ALUM. AWNING             |
| TAWN | TIMBER AWNING            |
| ASH  | ALUM. SINGLE HUNG        |
| TSH  | TIMBER SINGLE HUNG       |
| ADH  | ALUM. DOUBLE HUNG        |
| TDH  | TIMBER DOUBLE HUNG       |
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| TF   | TIMBER FIXED SASH        |
| *    | BRICKWORK OVER OPENING   |

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- ⊙ DENOTES DIRECT WIRED SMOKE ALARM
- ⊙ DENOTES FULL HIT BRICK CONTROL JOINT. -REFER TO ENGINEERS REPORT

AREAS m<sup>2</sup>

AMENDMENT DATES

11.11.19 - BD

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Plans prepared by  
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p: 461 8 8338 6688  
www.gostreydesign.com.au

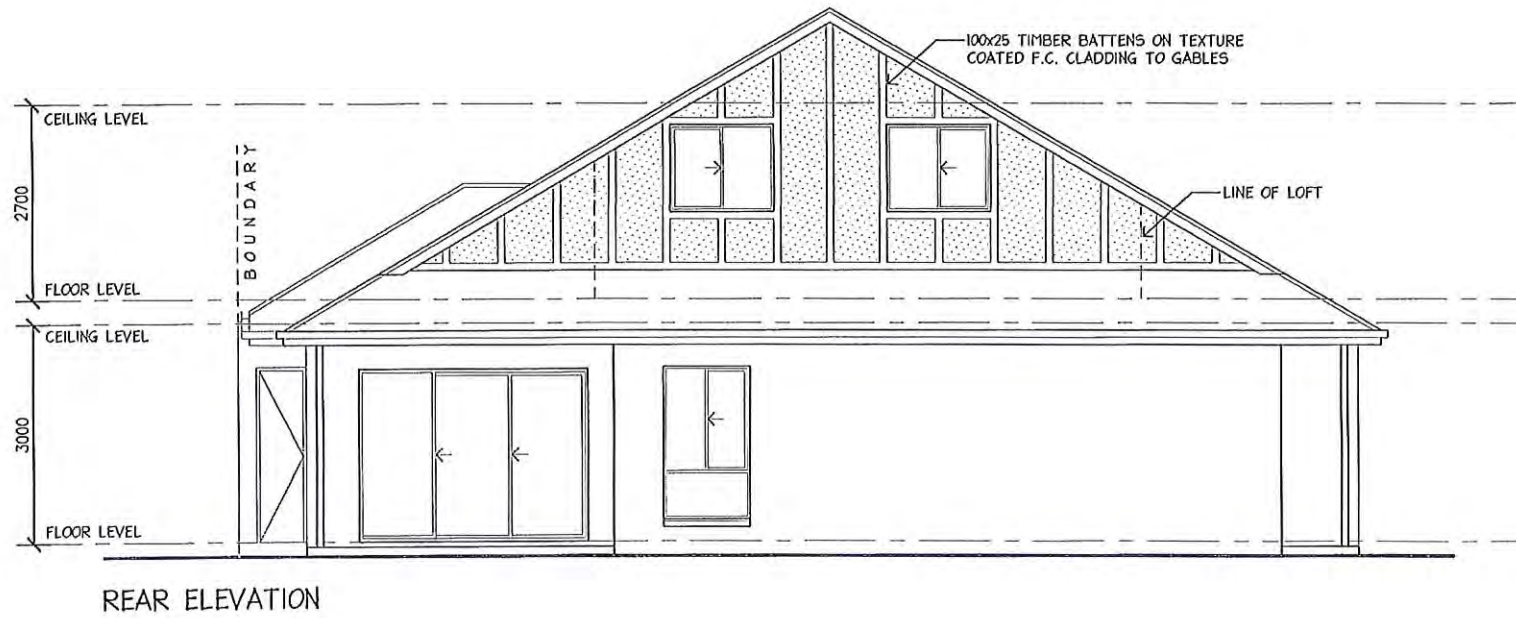
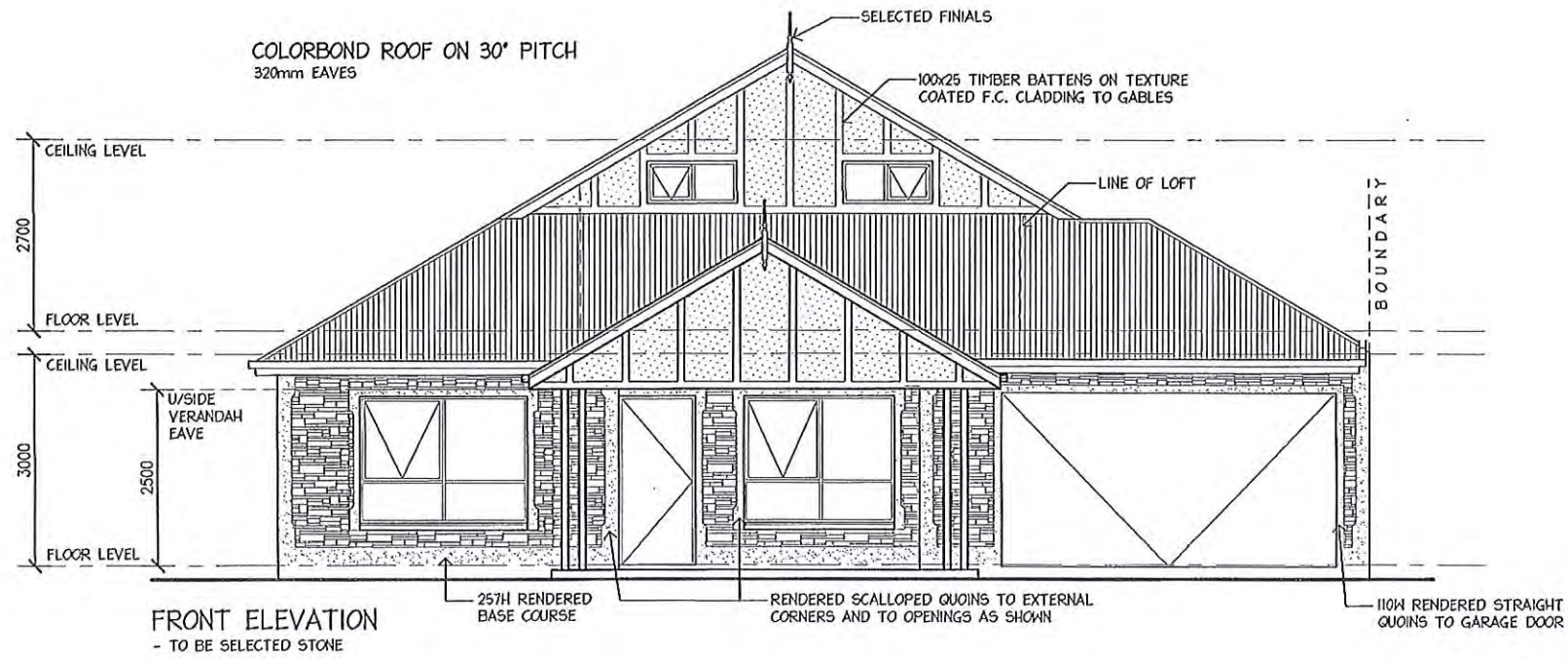
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SUPERSEDED

CONTRACT PLAN  
 OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_ DATE: \_\_\_\_\_



ELEVATIONS

Job No. 19221WD  
 PROPOSED RESIDENCE FOR  
 V. VO  
 A. NGUYEN  
 AT  
 LOT 1  
 CASTLE STREET  
 PARKSIDE  
 MASTER UPDATE:  
 TYPE:  
 DATE: 17.10.19 SCALE: 1:100  
 DRAWN: CN JOB TYPE: 3.3

SPECIAL NOTES  
 WINDOW LEGEND  
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 AAWN ALUM. AWNING  
 TAWN TIMBER AWNING  
 ASH ALUM. SINGLE HUNG  
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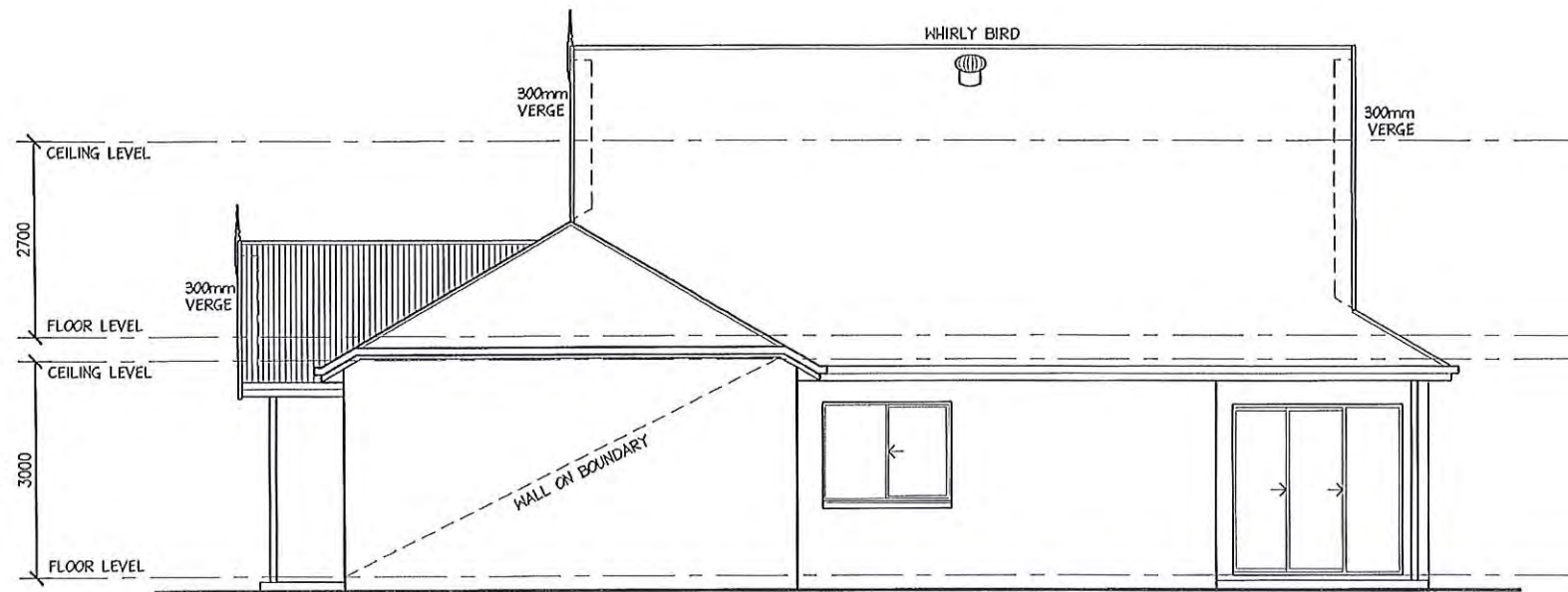
AREAS m<sup>2</sup>

AMENDMENT DATES  
 11.11.19 - BD

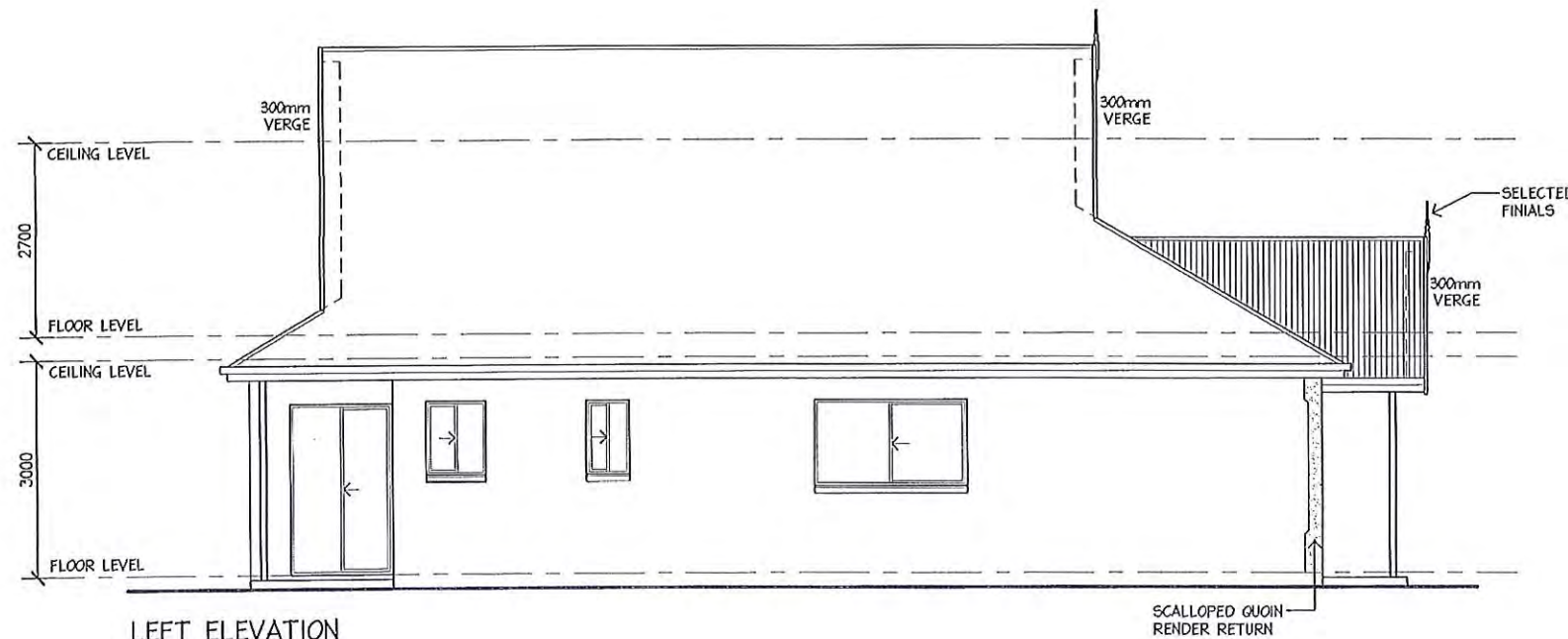
FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.  
 NOTE: VARIATIONS MAY OCCUR FROM DISPLAY HOMES DUE TO STRUCTURAL IMPROVEMENTS.  
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**SUPERSEDED**

CONTRACT PLAN  
 OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_  
 BUILDER: \_\_\_\_\_ DATE: \_\_\_\_\_



RIGHT ELEVATION



LEFT ELEVATION

ELEVATIONS

Job No. 19221WD  
 PROPOSED RESIDENCE FOR  
 V. VO  
 A. NGUYEN  
 AT  
 LOT 1  
 CASTLE STREET  
 PARKSIDE

MASTER UPDATE:  
 TYPE:  
 DATE: 17.10.19 SCALE: 1:100  
 DRAWN: CN JOB TYPE: 3.3

SPECIAL NOTES  
 WINDOW LEGEND  
 AS ALUM. HORIZONTAL SLIDING  
 AAWN ALUM. AWNING  
 TAWN TIMBER AWNING  
 ASH ALUM. SINGLE HUNG  
 TSH TIMBER SINGLE HUNG  
 ADH ALUM. DOUBLE HUNG  
 TDH TIMBER DOUBLE HUNG  
 AF ALUM. FIXED SASH  
 TF TIMBER FIXED SASH  
 \* BRICKWORK OVER OPENING

- STANDARD ROSSDALE HOMES WINDOW SIZES ONLY NOTED ON PLAN. NOMINAL STANDARD WINDOW SIZES MAY CHANGE.  
 - THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH BUILDING & SELECTION SCHEDULES

⊙ DENOTES DIRECT WIRED SMOKE ALARM  
 (C) DENOTES FULL HT BRICK CONTROL JOINT. REFER TO ENGINEERS REPORT

AREAS m<sup>2</sup>

AMENDMENT DATES  
 11.11.19 - BD

Rossdale Homes Pty. Ltd  
 ACN 007 935 727  
 Builders Licence No. C610  
 300 GLEN OSAGOND RD,  
 FULLARTON, SA 5063  
 Phone: 08 8433 2000  
 Fax: 08 8433 2099

Plans prepared by:  
 Gostrey Smith Design  
 ASN 16 692 583 292  
 332 GLEN OSAGOND RD,  
 FULLARTON, SA 5063  
 p: +61 8 8338 6288  
 www.gostrey-smith.com.au

FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.  
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SUPERSEDED



### SEWER LAYOUT

#### FMG ENGINEERING

67 GREENHILL ROAD  
WAYVILLE SA 5034  
PH (08) 8132 6600 A.B.N. 58 083 071 185

DATE : 29/11/2019 DESIGNED : JT  
JOB No . S46945/267771 CHECKED :

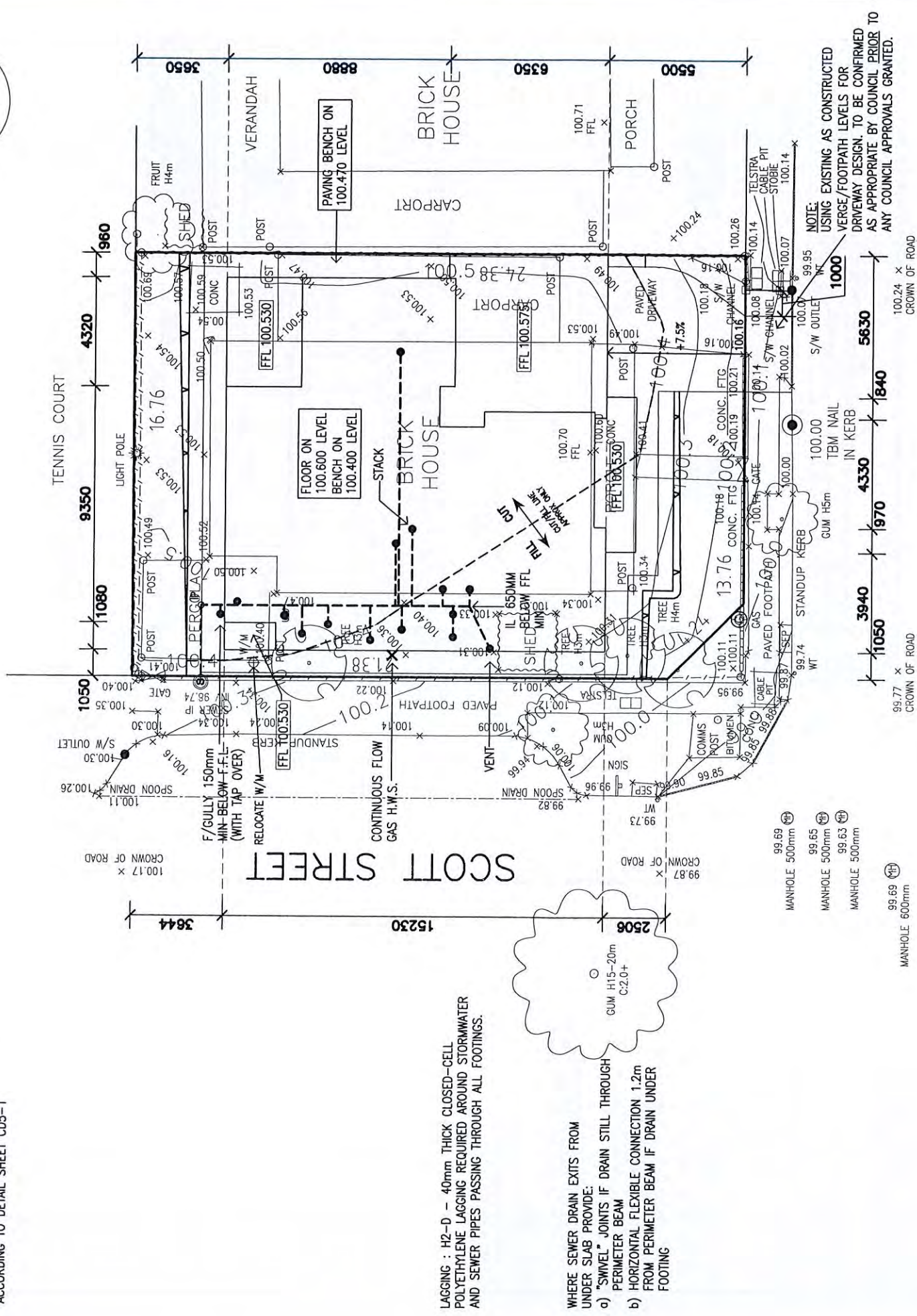
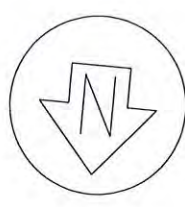
#### NOTES:

- ANY RETAINING WALLS SHOWN ARE TO BE CONSTRUCTED BY OWNER AFTER HAND OVER, EXCEPT THOSE THAT ARE NECESSARY FOR THE PHYSICAL CONSTRUCTION OF THE DWELLING.
- RETAIN ANY CUT/FILL ON BOUNDARY WITH MINOR CONCRETE SLEEPER RETAINING WALL OR CONCRETE PLINTH AS/IF REQUIRED (BY OWNER)
- PAVING MUST BE PROVIDED TO THE PERIMETER OF THE HOUSE ACCORDING TO DETAIL SHEET CD5-1

- NOTES:**
1. THE BENCH LEVEL HAS BEEN CHOSEN BY OTHERS.
  2. EXCAVATE THE SITE TO PROVIDE A LEVEL PLATFORM BL
  3. GRADE BANKS 1 : 2 MAX U.N.O.
  4. SLOPE PATHS AWAY FROM FOOTINGS.  
1 : 100 FOR UNPAVED AREAS  
1 : 20 FOR PAVED AREAS
  5. PROVIDE ADEQUATE PROTECTION OR COVER TO STORMWATER PIPE (300mm MIN COVER WHERE PIPE IS LIKELY TO BE SUBJECTED TO VEHICULAR LOADING UNLESS PROTECTED BY PAVING ABOVE AND 100mm COVER OTHERWISE).  
CONTACT THIS OFFICE FOR FURTHER ADVICE IF NO PAVING ABOVE.

6. THE SEWER INVERTS SHOWN HAVE BEEN CALCULATED TO DETERMINE WHETHER ADDITIONAL PIERS TO FOOTINGS MAY BE REQUIRED ONLY. IF SEWER IS TO BE LAYED DEEPER THAN THE INVERT POINTS SHOWN A REVIEW OF THE FOOTING DESIGN IS REQUIRED BY THIS OFFICE.
7. MAXIMUM LEVEL OF FLOOD GULLY TO BE 165mm BELOW F.F.L.
8. STORMWATER DRAIN MIN FALL 1:250
9. OPEN UNLINED SURFACE DRAIN MIN FALL 1:100
10. LINED SURFACE DRAIN AT PATH EDGE AT 0.30% FALL, REFER SHEET CD5-1

| No. | AMENDMENT | DATE | BY |
|-----|-----------|------|----|
|     |           |      |    |



### CASTLE STREET

NOTE: BUILDER TO CHECK DEPTH OF SEWER CONNECTION AND ENSURE ADEQUATE SEWER FALL CAN BE ACHIEVED PRIOR TO COMMENCING EARTHWORKS. REFER ANY CHANGES TO PROPOSED BENCH LEVEL TO THIS OFFICE FOR VERIFICATION PRIOR TO COMMENCING SITE CUT.

NOTE: SEWER DRAIN IS TO BE A MINIMUM OF 500MM AWAY FROM ELECTRICAL EARTH STAKE ADJACENT ELECTRIC METER BOX. STORMWATER DRAINS & DOWNPIPES ARE TO BE A MINIMUM OF 600MM AWAY.

**DRAIN SIZES:**

|          |         |
|----------|---------|
| KITCHEN  | 50mm    |
| TRAP     | 65mm    |
| WASTE    | 80x65mm |
| LAUNDRY  | 65mm    |
| TRAP     | 80mm    |
| WASTE    | 80x65mm |
| BATHROOM | 65mm    |
| TRAP     | 80mm    |
| WASTE    | 80x65mm |
| W/C      | 100mm   |
| F/GULLY  | 100mm   |
| VENT     | 50mm    |

**DESIGN SEWER DRAIN LAYOUT**  
NOTE -MAY BE MODIFIED ON SITE AT BUILDERS DISCRETION

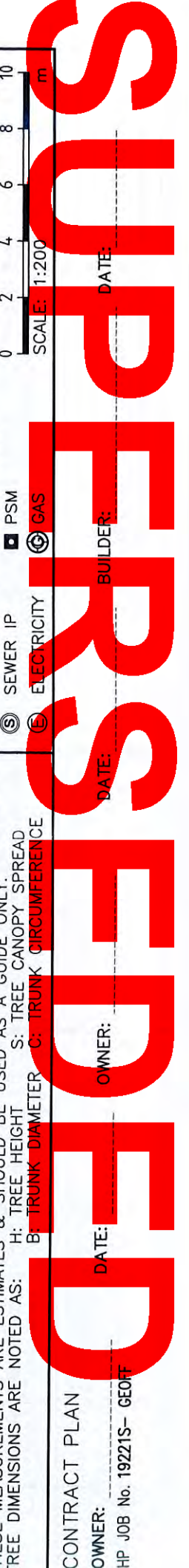
PROJECT REF: 15842/07/19 DATE DRAWN: 05/08/19 DRAWN BY: SA A3  
TBM: NAIL IN STANDUP KERB RL 100.00 CONTOUR INTERVAL: 0.100

|                      |                  |              |                |   |   |   |    |
|----------------------|------------------|--------------|----------------|---|---|---|----|
| TEMPORARY BENCH MARK | □ CABLE PIT      | GI FENCE     | BRUSH FENCE    |   |   |   |    |
| STOBIE               | ● PIN/SPIKE/NAIL | TF FENCE     | RETAINING WALL |   |   |   |    |
| WATER METER          | ■ PEG FOUND      | 0            | 2              | 4 | 6 | 8 | 10 |
| SEWER IP             | ⊙ PSM            | SCALE: 1:200 |                |   |   |   |    |
| ELECTRICITY          | ⊕ GAS            |              |                |   |   |   |    |

CONTOUR SURVEY SITE DETAILS:  
**#55 CASTLE STREET PARKSIDE**

THIS IS NOT A BOUNDARY SURVEY, THEREFORE THE RELATIONSHIP BETWEEN OCCUPATION & THE PLOTTED BOUNDARY IS INDICATIVE ONLY. WHILE EVERY PRECAUTION IS TAKEN BY MATTSOON & MARTYN TO ENSURE TREE POSITIONS & DIMENSIONS ARE SHOWN ACCURATELY, THESE MEASUREMENTS ARE ESTIMATES & SHOULD BE USED AS A GUIDE ONLY. TREE DIMENSIONS ARE NOTED AS:  
B: TRUNK DIAMETER C: TRUNK CIRCUMFERENCE

CONTRACT PLAN  
OWNER: \_\_\_\_\_ DATE: \_\_\_\_\_  
HP JOB No. 19221S- GEOFF  
BUILDER: \_\_\_\_\_ DATE: \_\_\_\_\_



**STORMWATER LAYOUT**

**FMG ENGINEERING**

67 GREENHILL ROAD  
 WAVILLE SA 5034  
 PH (08) 8132 6600 A.B.N. 58 083 071 185

DATE : 29/11/2019  
 JOB No. : S46945/267771

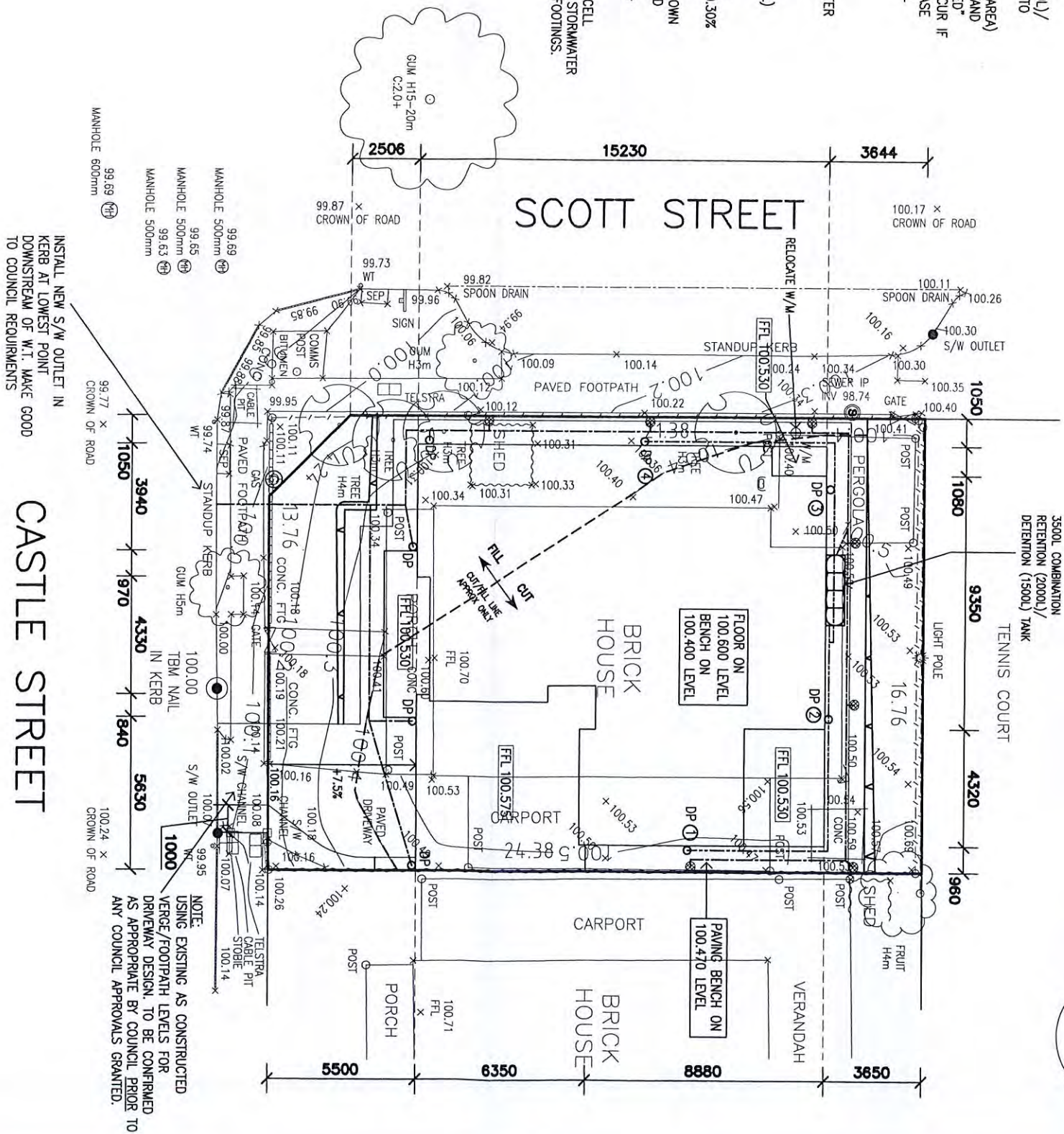
DESIGNED : JT  
 CHECKED :

**NOTES:**

- ANY RETAINING WALLS SHOWN ARE TO BE CONSTRUCTED BY OWNER AFTER HAND OVER, EXCEPT THOSE THAT ARE NECESSARY FOR THE PHYSICAL CONSTRUCTION OF THE DWELLING.
- RETAIN ANY CUT/FILL ON BOUNDARY WITH MINOR CONCRETE SLEEPER RETAINING WALL OR CONCRETE PLINTH AS/IF REQUIRED (BY OWNER)
- PAVING MUST BE PROVIDED TO THE PERIMETER OF THE HOUSE ACCORDING TO DETAIL SHEET CD5-1
- 1 X 3500L COMBINATION RETENTION (2000L)/RETENTION (1500L) TANK. 30mm ORIFICE TO DETENTION OUTLET.
- DP ① TO ④ TO TANK (MIN 60% OF ROOF AREA) ENSURE ANY FILL PLACED UNDER TANK STAND LOCATIONS IS PLACED AT LEAST AS "ROLLED" FILL. HOWEVER SOME SETTLEMENT MAY OCCUR IF "CONTROLLED" FILL IS NOT USED OR IF BASE SUPPORT IS NOT PIERED TO FIRM NATURAL GROUND.
- TANK INLET PIPE SEALED SYSTEM (REFER SHEET DD2)
- TANK OVERFLOW PIPE, SURFACE STORMWATER AND REMAINDER OF DP'S TO STREET W.T. VIA GRAVITY FLOW
- 900 GRATED SURFACE S/W SWAMP (TYPICAL)
- GRADE PAVING AND FILL AND/OR GRADE GROUND TO SWAMP LOCATIONS OR PROVIDE LINED SPOON DRAIN BETWEEN SWAMPS AT 0.30% FALL-REFER SHEET CD5-1 AND DD1
- THE NUMBER AND LOCATION OF SWAMPS SHOWN ON THIS DRAWING ARE INDICATIVE ONLY AND MAY CHANGE SUBJECT TO ACTUAL SITE CONDITIONS AND THE EXTENT AND TYPE OF PAVEMENTS SELECTED.
- LAGGING : H2-D - 40mm THICK CLOSED-CELL POLYETHYLENE LAGGING REQUIRED AROUND STORMWATER AND SEWER PIPES PASSING THROUGH ALL FOOTINGS.

**IMPORTANT NOTE:**  
 USE ALTERNATIVE FLEXIBLE CONNECTION AT DP TO DRAIN PIPE JUNCTION (REFER ACCOMPANYING SHEET)

- NOTES:**
1. THE BENCH LEVEL HAS BEEN CHOSEN BY OTHERS.
  2. EXCAVATE THE SITE TO PROVIDE A LEVEL PLATFORM BL.
  3. GRADE BANKS 1 : 2 MAX UN.O.
  4. SLOPE PATHS AWAY FROM FOOTINGS.
    - 1 : 100 FOR UNPAVED AREAS
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  5. PROVIDE ADEQUATE PROTECTION OR COVER TO STORMWATER PIPE (300mm MIN COVER WHERE PIPE IS LIKELY TO BE SUBJECT TO VEHICULAR LOADING UNLESS PROTECTED BY PAVING ABOVE AND 100mm COVER OTHERWISE). CONTACT THIS OFFICE FOR FURTHER ADVICE IF NO PAVING ABOVE.
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  8. STORMWATER DRAIN MIN FALL 1:250
  9. OPEN UNLINED SURFACE DRAIN MIN FALL 1:100
  10. LINED SURFACE DRAIN AT PATH EDGE AT 0.30% FALL. REFER SHEET CD5-1



**CASTLE STREET**

**CONTOUR SURVEY SITE DETAILS:  
 #55 CASTLE STREET  
 PARKSIDE**

THIS IS NOT A BOUNDARY SURVEY, THEREFORE THE RELATIONSHIP BETWEEN OCCUPATION & THE PLOTTED BOUNDARY IS INDICATIVE ONLY. WHILE EVERY PRECAUTION IS TAKEN BY MATTISON & MARTYN TO ENSURE TREE POSITIONS & DIMENSIONS ARE SHOWN ACCURATELY, THESE MEASUREMENTS ARE ESTIMATES & SHOULD BE USED AS A GUIDE ONLY. TREE DIMENSIONS ARE NOTED AS:  
 H: TREE HEIGHT  
 S: TREE CANOPY SPREAD  
 B: TRUNK DIAMETER  
 C: TRUNK CIRCUMFERENCE

PROJECT REF: 15842/07/19 DATE DRAWN: 05/08/19 DRAWN BY: SA A3  
 TBM: NAIL IN STANDUP KERB RL 100.00 CONTOUR INTERVAL: 0.100

|                        |                  |                |                  |
|------------------------|------------------|----------------|------------------|
| ● TEMPORARY BENCH MARK | □ CABLE PIT      | ~ G.I FENCE    | ~ BRUSH FENCE    |
| ⊕ STOBIE               | ● PIN/SPIKE/NAIL | - - - TF FENCE | ~ RETAINING WALL |
| ⊗ WATER METER          | ■ PEG FOUND      |                |                  |
| Ⓢ SEWER IP             | ▣ PSM            |                |                  |
| ⓔ ELECTRICITY          | Ⓜ GAS            |                |                  |

SCALE: 1:200

CONTRACT PLAN  
 OWNER: HP JOB No. 192215- GEOFF

DATE:

OWNER:

DATE:

BUILDER:

DATE:

**ATTACHMENT B**

|               |
|---------------|
| CITY OF UNLEY |
| 31 MAR 2020   |
| REF:          |

## REPRESENTATION Category 2 (Page 1)

To: Chelsea Spangler, City of Unley Development Section

### Please read these notes carefully:

1. Both pages **MUST** be completed in full and returned to the City of Unley by the closing date to be a valid representation.
2. This page (ie Page 1) will **NOT** be published on the internet.
3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
4. Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is **5pm on 6 April 2020**.

**Application:** 090/784/2019/C2 55 Castle Street, Parkside SA 5063

### Details of Person(s) making Representation:

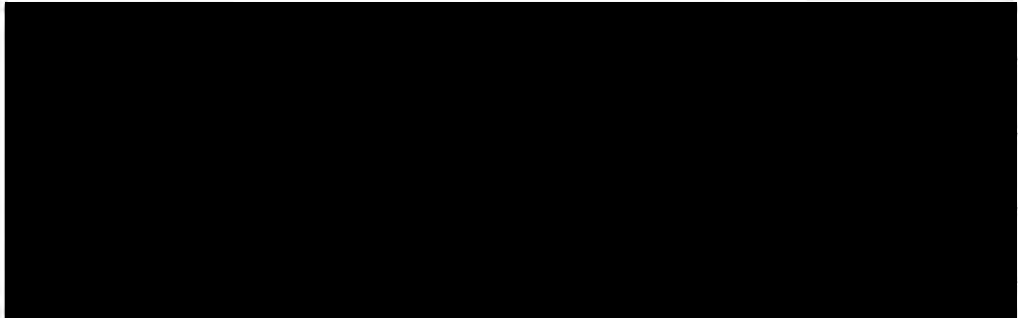
Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected by Development



57 CASTLE ST, PARKSIDE 5063

*A. W. Suggin*

(Signature)

*A. Suggin*

26/3/2020

(Date)

Attach any extra pages to this form

## REPRESENTATION Category 2 (Page 2)

To: **Chelsea Spangler, City of Unley Development Section**

1. This page (ie Page 2) and any attachments may be published on the internet and thus be able to be searched via Google and other internet search engines.
2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is **5pm on 6 April 2020.**

|                                         |                                                    |
|-----------------------------------------|----------------------------------------------------|
| <b>Application:</b>                     | 090/784/2019/C2 55 Castle Street, Parkside SA 5063 |
| <b>Property affected by Development</b> | 57 CASTLE ST, PARKSIDE 5063                        |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

- ① My concern would be shading of solar panels on the carport roof of 57, especially in winter.
- ② The proposed new building is much higher than the existing one.
- ③ Also the medium shrubs proposed for adjoining boundary - there is a sewer line on 57 quite close to the boundary & is the original, therefore roots could cause a problem as happened in the past.

My concerns (if any) could be overcome by:

- ① Lower roof profile
- ② Ground cover planting along adjoining fence line.

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)



# REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY  
 1 APR 2020  
 REF:

To: Chelsea Spangler, City of Unley Development Section

**Please read these notes carefully:**

1. Both pages **MUST** be completed in full and returned to the City of Unley by the closing date to be a valid representation.
2. This page (ie Page 1) will **NOT** be published on the internet.
3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
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The closing date for Representations is 5pm on 6 April 2020.

**Application:** 090/784/2019/C2 55 Castle Street, Parkside SA 5063

**Details of Person(s) making Representation:**

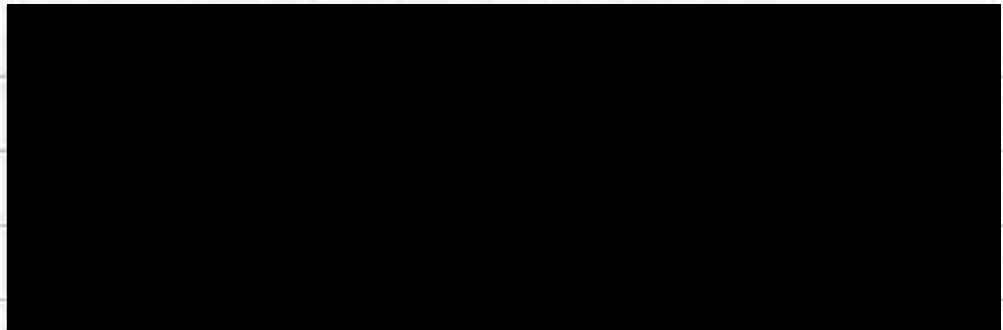
Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected by Development



22A Scott St Parkside 5063

(Signature)

27/3/2020

(Date)

Attach any extra pages to this form

## REPRESENTATION Category 2 (Page 2)

To: **Chelsea Spangler, City of Unley Development Section**

1. This page (ie Page 2) and any attachments may be published on the internet and thus be able to be searched via Google and other internet search engines.
2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is **5pm on 6 April 2020.**

|                                         |                                                    |
|-----------------------------------------|----------------------------------------------------|
| <b>Application:</b>                     | 090/784/2019/C2 55 Castle Street, Parkside SA 5063 |
| <b>Property affected by Development</b> | 22A Scott St Parkside 5063                         |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

It will further ditre detract from the character of Parkside

I thought we were in a heritage area. 2 storey buildings are a blight

I objected to the property across the road from my house and next door (23 & 24 Scott St) being 2 storey and succeeded in blocking.

My concerns (if any) could be overcome by:

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

**ATTACHMENT C**

## Heritage Architect's Comments for 090/784/2019/C2 - 55 Castle Street, Parkside

**April 2021**

Comments regarding amended drawings.

This application has been through a number of iterations.

Although improvements have been made to the design, I remain unable to support the proposed development.

As previously advised, (26 March 2020 and 2 July 2020), the subject dwelling is an early 1900s symmetrical cottage. It is of relatively high integrity retaining much of its original form and fabric except for non-original steel verandah posts. Although not well maintained, it is consistent with, and makes a positive contribution to, streetscape character.

No case for demolition of the existing dwelling has been made.

The proposed dwelling does not make a comparable or more positive contribution to the desired character than the building to be demolished.

The streetscape character of the locality is derived from a predominance of Turn-of-the-Century and early 1900s dwellings. The pattern of development, including front and side setbacks, is reasonably consistent. There are a couple of discordant exceptions however traditional building forms predominate in the locality. The pattern of development includes side setbacks of 1.0 to 1.5 metres on one side and 3.0 to 3.5 metres on the other.

Although some dwellings have carports, most are open at the front and sides and single width and/or well setback from the front of the dwelling, thus maintaining a sense of space between built form. The one or two exceptions disrupt the rhythm of the streetscape.

Unfortunately as mentioned in previous advice, it appears that the streetscape elevations are inaccurate, so it is difficult to comment on the relationship between the proposed dwelling and adjacent dwellings.

It is evident however that the proposed dwelling has an elongated frontage width with the garage and carport only setback a few hundred millimetres behind the front wall of the dwelling. This composition diminishes the space between buildings and disrupts the rhythm of the streetscape.

While steps have been taken to mitigate the visual impact of the upper storey, I would not say that it is 'inconspicuous' in the streetscape and the overall bulk of the dwelling is inconsistent with prevailing character.

The prominent double-width vehicle garaging, although now separated as a garage and a carport, adversely affect the building form, the dwelling frontage width and side setbacks. In addition, the single-width garage remains under the main roof and is insufficiently setback from the front of the dwelling. The adjacent carport is also prominent and insufficiently setback.

The drawings note "feature garage doors as selected" but the external colour selections sheet calls up a "B and D Nullabor" door which is a panel type door.

The relatively small side setback to the Scott Street boundary is also of concern and is inconsistent with other nearby secondary frontages that have more space between side boundaries and buildings.

The imitative historic detail such as the (asymmetric) bullnose verandah and quoinwork is inconsistent with Zone PDC 10.

The strongly contrasting dark (black)/light (white) colour scheme is inconsistent with the mid-range tones of traditional buildings nearby and is inappropriate in the context.

There is no information regarding proposed fencing or landscaping as far as I can see.

## March 2020

The streetscape character of the locality is derived from a predominance of Turn-of-the Century and early 1900s dwellings. The pattern of development, including front and side setbacks, is reasonably consistent. There are a couple of discordant exceptions however traditional building forms predominate in the locality.

The subject dwelling is an early 1900s symmetrical cottage. It is of relatively high integrity retaining much of its original form and fabric except for non-original steel verandah posts. It is consistent with, and makes a positive contribution to, streetscape character.

The proposed dwelling is inconsistent with several aspects of relevant policy. It does not achieve compatibility with streetscape character.

The incorporation of the upper storey within the roof results in excessive and inappropriate roof bulk and dwelling proportions that contrast with rather than achieve consistency with prevailing character. The wall height and street frontage width of the proposed dwelling are also inconsistent with those of the traditional dwellings nearby, serving to increase the difference in relative proportions. Furthermore, the fenestration pattern of relatively square windows extenuates the horizontal emphasis of the design composition and exacerbates the contrast in proportions.

The use of a gabled verandah in a streetscape of lean-to, mostly bullnose profile, verandah forms, further increases the contrast.

The streetscape drawings do not appear to accurately depict the dimensions of adjacent and nearby dwellings. Nevertheless, they clearly illustrate the relatively dominant and inappropriate appearance of the proposed dwelling.

Side setbacks do not reflect the traditional pattern of development evident in the streetscape. Although some dwellings have carports, most are open at the front and sides and single width and/or well setback from the front of the dwelling, thus maintaining a sense of space between built form. The one or two exceptions disrupt the rhythm of the streetscape.

In contrast, the vehicle garaging of the proposed dwelling is prominent, located on the side boundary and under the main roof of the dwelling.

The location of the garage also upsets the street frontage width of the proposed dwelling, elongating it so that it is inconsistent with the street frontage widths of traditional dwellings.

The strongly contrasting colour scheme of light wall colours and very dark roof colour contrasts with the more subtle mid-range tones evident in traditional dwellings nearby.

There do not appear to be any details of proposed fencing forward of the dwelling.

The proposed dwelling does not make a comparable or more positive contribution to the desired character than the building to be demolished as required under Zone PDC 6.

**ITEM 4****DEVELOPMENT APPLICATION – 090/977/2020/C2 – 11 YEO AVENUE,  
HIGHGATE SA 5063 (FULLARTON)**

|                                                |                                                                                                                                                                      |
|------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEVELOPMENT APPLICATION NUMBER:</b>         | 090/977/2020/C2                                                                                                                                                      |
| <b>ADDRESS:</b>                                | 11 Yeo Avenue, Highgate SA 5063                                                                                                                                      |
| <b>DATE OF MEETING:</b>                        | 20 April 2021                                                                                                                                                        |
| <b>AUTHOR:</b>                                 | David Bailey                                                                                                                                                         |
| <b>DEVELOPMENT PROPOSAL:</b>                   | Construct alterations and additions to a single storey detached dwelling, construct carport on western boundary and an inground swimming pool near southern boundary |
| <b>HERITAGE VALUE:</b>                         | Nil                                                                                                                                                                  |
| <b>DEVELOPMENT PLAN:</b>                       | 15 October 2020                                                                                                                                                      |
| <b>ZONE:</b>                                   | Residential (Landscape) Zone<br>Landscape Policy Area 11.2 (400)                                                                                                     |
| <b>APPLICANT:</b>                              | Archaea Architects                                                                                                                                                   |
| <b>OWNER:</b>                                  | A C Eitel                                                                                                                                                            |
| <b>APPLICATION TYPE:</b>                       | Merit                                                                                                                                                                |
| <b>PUBLIC NOTIFICATION:</b>                    | Category 2                                                                                                                                                           |
| <b>REPRESENTATIONS RECEIVED:</b>               | One + oppose                                                                                                                                                         |
| <b>CAP'S CONSIDERATION IS REQUIRED DUE TO:</b> | Unresolved representations                                                                                                                                           |
| <b>RECOMMENDATION:</b>                         | Approval                                                                                                                                                             |
| <b>KEY PLANNING ISSUES:</b>                    | Shadow<br>Building bulk / mass<br>Private Open Space                                                                                                                 |

**1. PLANNING BACKGROUND**

When lodged, staff requested the following amendments:

- Setting the verandah/carport to be 1m behind the dwelling's main wall. The applicant reduced the proposed front verandah from being flush with the Tudor verandah to be half the depth.
- Increasing the amount of open space. The applicant responded by increasing the setback of the lounge from the southern boundary from 1m to 1.5m.
- Indicating a pool enclosure being operated to meet EPA guidelines on the plans. This amendment was made.

Staff sought clearer indication of details shown on the plans. The plans before the Panel show the clearer detail.

## **2. DESCRIPTION OF PROPOSAL**

The proposal is to demolish structures at the rear of the Tudor dwelling and to construct a single storey rear addition with two courtyard areas, a new carport to the side, a verandah to part of the front of the dwelling, and an inground pool near the southern boundary.

## **3. SITE DESCRIPTION**

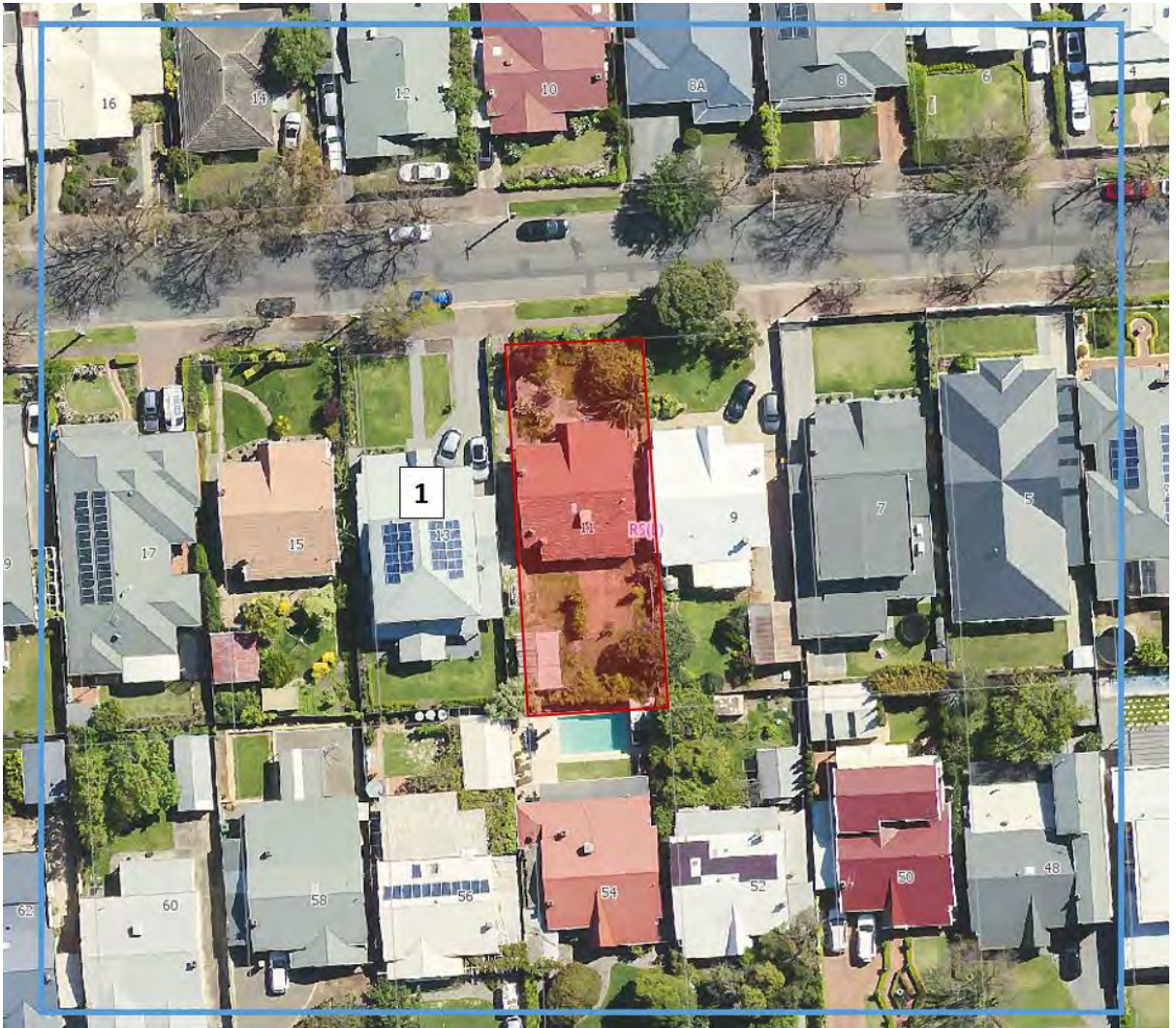
11 Yeo Avenue is a single residential allotment located on the southern side of Yeo Avenue. The site is formally described as Allotment 40 in Filed Plan 14662, Certificate of Title Volume 5171 Folio 682.

The site has a gentle rise to the south up from Yeo Avenue.

The site has a frontage of 15.24 metres to Yeo Avenue, a depth of 38.10 metres and area of 581m<sup>2</sup>. The site is occupied by a single storey Tudor style dwelling with attached structures and rear shed.

There are no regulated or significant trees on the site or on adjoining land that would be affected by the proposed development.

#### 4. LOCALITY PLAN



 Subject Site  Locality  Representations

#### 5. LOCALITY DESCRIPTION

The predominant land use within the locality is residential. The character is predominantly single storey detached dwellings on individual allotments with street trees and landscaped front yards characteristic. Dwellings range from the 1920's to the 1950's, with several contemporary dwellings and two-storey components. Bungalow and Tudor styles are defining elements. Front fencing is predominantly low and open.



## 6. PUBLIC NOTIFICATION

Category 2 notification was undertaken during which one representation was received.

| <b>13 Yeo Avenue (oppose)</b>                                                                                                                                                               |                                                                                                                                                                                                                                                                                                  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>ISSUES RAISED</b>                                                                                                                                                                        | <b>APPLICANTS RESPONSE</b>                                                                                                                                                                                                                                                                       |
| The front view shows rear addition below roof ridge whereas side view shows addition above roof ridge.                                                                                      | <p>The front view is an eye level perspective whereas western elevation is 2D.</p> <p>The elevation plans show the highest point of the additions roof is 1m above the Tudor ridge.</p>                                                                                                          |
| Rear addition sloping down from 6.15m to 4.45m is quite high. Concerned at shadow and visual impact.                                                                                        | <p>The shadow cast by the proposal on 13 Yeo is restricted to a small corner at 10 – 10.30AM mid-winter.</p> <p>The highest part of the addition slopes away to the rear to limit impact on 13 Yeo. The western wall is setback 1m from the boundary and is in effect replacing an old shed.</p> |
| The development at 11 Yeo is being proposed at the same time as a development to the west at 15 Yeo. Am concerned about the impact of both. Seek Council to consider both at the same time. | (no response)                                                                                                                                                                                                                                                                                    |

(\* denotes non-valid planning considerations)

The application at 15 Yeo involves two storey additions. That application is yet to be determined.

## 7. DEVELOPMENT DATA

| <b>Building Characteristics</b> |                                                         |                                                                                                            |
|---------------------------------|---------------------------------------------------------|------------------------------------------------------------------------------------------------------------|
|                                 | Proposal                                                | Development Plan                                                                                           |
| <b>Site Coverage</b>            |                                                         |                                                                                                            |
| Roofed Buildings                | 42%                                                     | <input type="checkbox"/> 50% of site area                                                                  |
| Total Impervious Areas          | 68%                                                     | <input type="checkbox"/> 70% of site <input type="checkbox"/>                                              |
| <b>Total Building Height</b>    |                                                         |                                                                                                            |
| From ground level               | 6.5m to addition top<br>3.3m wall height facing<br>west | (no requirement)                                                                                           |
| <b>Setbacks</b>                 |                                                         |                                                                                                            |
| <b>Ground Floor</b>             |                                                         |                                                                                                            |
| Front boundary                  | 10.9m proposed<br>verandah                              | 6 - 8m                                                                                                     |
| Side boundary                   | 1m                                                      | 1m                                                                                                         |
| <b>Rear boundary</b>            | <b>1.5m</b>                                             | <b>8m</b>                                                                                                  |
| <b>Private Open Space</b>       |                                                         |                                                                                                            |
| <b>Min Dimension</b>            | <b>2.8m</b>                                             | <input type="checkbox"/> 4m minimum                                                                        |
| <b>Total Area</b>               | <b>15%</b>                                              | <input type="checkbox"/> 20%                                                                               |
| <b>Car parking and Access</b>   |                                                         |                                                                                                            |
| On-site Car Parking             | 4                                                       | 2 per dwelling where<br>less than 4 bedrooms or<br>250m <sup>2</sup> floor area                            |
| Garage/Carport Width            | 3m                                                      | <input type="checkbox"/> 6.5m or <input type="checkbox"/> 30% of site<br>width, whichever is the<br>lesser |
| <b>Colours and Materials</b>    |                                                         |                                                                                                            |
| Roof                            | Standing seam roofing                                   |                                                                                                            |
| Walls                           | White painted<br>weatherboard                           |                                                                                                            |

(items in **BOLD** do not satisfy the relevant Principle of Development Control)

## 8. ASSESSMENT

### Zone Desired Character and Principles of Development Control

| <b>Residential Streetscape (Landscape) Zone</b>                                                                                                                                                                                                                                                 |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>Objective 1: Enhancement of the distinctive and primarily coherent streetscapes by retaining and complementing the built form, setting and surrounding landscape features.</i>                                                                                                               |
| <i>Objective 2: A residential zone for primarily street-fronting dwellings, together with the use of existing non-residential buildings and sites for small-scale local businesses and community facilities.</i>                                                                                |
| <i>Objective 3: Sensitive in-fill development opportunities where appropriate and complementary to the desired character and streetscape setting or providing for the improvement of areas of variable character by replacing discordant buildings and their associated landscape patterns.</i> |
| <i>Objective 4: Development that contributes to the desired character of the zone</i>                                                                                                                                                                                                           |
| <b>Desired Character</b>                                                                                                                                                                                                                                                                        |

*The Residential Streetscape (Landscape) Zone encompasses living areas in the west and south eastern section of the City of Unley. The zone is distinguished by coherent streetscape patterns. These attributes include the consistent:*

- (a) rhythm of building sitings, scale, form and setbacks (front and side) and gaps between buildings;*
- (b) allotment and road patterns;*
- (c) landscape features within streetscapes, including the road verge and forward of the building façade.*

*Development should respect and contribute positively to the streetscape setting, and where appropriate, the collective features of distinctive and primarily coherent streetscapes. The key considerations are:*

*(a) siting – sites with generous front and side setbacks to main dwelling buildings and wide road reserves. Building envelopes should reflect this siting, scale and form to maintain the spatial patterns of traditional settlement. Low open style front fences provide transparent streetscape views of landscaped front yards and compatible development.*

*(b) form – a consistent pattern of traditional building proportions (wall heights and widths) and overall roof height, volume and form is associated with the various architectural styles. Infill dwellings and dwelling additions should maintain traditional scale, proportions and building forms when viewed from the primary streetscape.*

*(c) key elements – the articulation of the built form, verandahs and pitched roofs, are important key elements in minimising the visual dominance of buildings to the primary streetscape setting. The careful composition of facades to reduce building mass, avoidance of disruptive elements, and keeping outbuildings, carports and garages as minor elements, assist in complementing the desired character. Low open style front fences complement the style and predominant form of dwellings within the street and streetscape views of landscaped front yards.*

#### **Assessment**

The proposal maintains the Tudor presentation to the street, including its substantive front garden area and space between buildings. The addition's circular roof form by being sited behind the roof line means whilst visible from directly in front, it is not a dominant feature. It is noted several contemporary roof forms – including two storey – are in the locality, entailing visually interesting roof forms are part of the character.

| Relevant Zone Principles of Development Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Assessment                                                                                                                                                                                                                                                                                                                                                                                       |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><i>1 The following forms of development are envisaged in the zone:</i></p> <p><i>Affordable housing</i><br/> <i>Domestic outbuilding in association with a dwelling</i><br/> <i>Domestic structure</i><br/> <i>Dwelling</i><br/> <i>Dwelling addition</i><br/> <i>Small-scale non-residential use in existing non-residential buildings that serves the local community</i><br/> <i>Supported accommodation.</i></p>                                                                                                                                                                                                                                               | <p>Satisfies.</p> <p>The proposal comprises dwelling additions.</p>                                                                                                                                                                                                                                                                                                                              |
| <p><i>7 Development should retain and enhance its streetscape contribution by being sited and designed to respond positively to the streetscape context of its locality in terms of the:</i></p> <p><i>(a) rhythm and setting of buildings and open spaces (front and side setbacks);</i><br/> <i>(b) dominant garden and landscape vistas;</i><br/> <i>(c) recessive or low-key nature of vehicle garaging and the associated driveway and minimising the number and width of access points to public roads.</i></p>                                                                                                                                                 | <p>Satisfies.</p> <p>Retention of the Tudor frontage and its substantive setback aligns with the intent for 'dominant' gardens. Likewise, given the setback and open carport, vehicle garaging is 'low key'.</p>                                                                                                                                                                                 |
| <p><i>9 Development should present a single storey built scale to its streetscape. Any second storey building elements should be:</i></p> <p><i>(a) integrated sympathetically into the dwelling design and landscape setting;</i><br/> <i>(b) incorporated primarily into the roof or comprise an extension of the primary single storey roof element without imposing excessive roof volume or bulk, or massing intruding on neighbouring spacious conditions, nor increasing the evident wall heights as viewed from the street;</i><br/> <i>(c) set well behind the primary street façade of the dwelling so as to be inconspicuous from the streetscape.</i></p> | <p>Satisfies</p> <p>Retention of the Tudor style continues the dominant landscape character of the site in the locality.</p> <p>Acknowledging the addition is single story, it is sited off side boundaries, some 23 metres from the street frontage and behind the Tudor roof line.</p> <p>The highest point of 6.5m is some 3.2m from the side boundary, scaling down to 4.6m at the rear.</p> |
| <p><i>12 Building walls on side boundaries should be avoided other than:</i></p> <p><i>(a) a party wall of semi-detached dwellings or row dwellings;</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | <p>Satisfies</p>                                                                                                                                                                                                                                                                                                                                                                                 |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><i>(b) a single storey building, or outbuilding, which is not under the main dwelling roof and is setback from, and designed such that it is minor and subservient and not part of, the primary street façade, where:</i></p> <p><i>(i) there is only one side boundary wall;</i></p> <p><i>(ii) the minimum side setback (on the other side boundary) and collective side setbacks as prescribed under the relevant precinct parameters are met.</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <p><i>13 A carport or garage should form a relatively minor streetscape element and should:</i></p> <p><i>(a) be located to the rear of the dwelling as a freestanding outbuilding;</i></p> <p><i>(b) where attached to the dwelling be sited alongside the dwelling and behind its primary street façade, and adopt a recessive building presence. In this respect, the carport or garage should:</i></p> <p><i>(i) incorporate lightweight design and materials, or otherwise use materials which complement the associated dwelling;</i></p> <p><i>(ii) be in the form of a discrete and articulated building element not integrated under the main roof, nor incorporated as part of the front verandah or any other key element of the dwelling design;</i></p> <p><i>(iii) have a width which is a proportionally minor relative to the dwelling façade and its primary street frontage;</i></p> <p><i>(iv) not be sited on a side boundary, except for minor scale carports, and only where the desired building setback from the other side boundary is achieved.</i></p> | <p>Satisfies</p> <p>The verandah/carport provides cover for vehicles, as sought by the Plan.</p> <p>The Tudor's front verandah with the prominent gable, and supporting pillars and wall is of some 2m depth.</p> <p>The verandah of 1m depth wraps in front of the Tudor. The verandah/carport is some 4m in height at the front, is setback 11m from the front, and is to be of painted white appearance to match the dwelling including the addition.</p> <p>On balance, given the prominence of the Tudor verandah, the simple and recessed nature of the proposed verandah complements the dwellings overall appearance.</p> <p>It is noted the verandah has a similar setback to the front of 13 Yeo.</p> |

**Landscape Policy Area Desired Character**

|                                                                                                                                                                                                                                                                                                                                                                                                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Landscape Policy Area</b>                                                                                                                                                                                                                                                                                                                                                                   |
| <b>Desired Character</b>                                                                                                                                                                                                                                                                                                                                                                       |
| <i>This policy area comprises three precincts with allotment sizes of 300, 400 and 560 square metres. Development will seek to retain the prevailing low scale of development and the coherent rhythm, building spacing and landscaped setting. The policy area is confined to Fullarton, Highgate, Malvern (south), Forestville (south) and Myrtle Bank.</i>                                  |
| <b>Assessment</b>                                                                                                                                                                                                                                                                                                                                                                              |
| The proposed works maintain the Tudors dwelling appearance to the street, noting its substantive 12m setback to its front wall. Likewise, the proposal maintains the sense of openness by maintaining gaps between buildings. The carport lessens the sense of openness between dwellings but noting it is an open carport, and the Plan anticipates covered parking, this aspect is suitable. |

| <b>Relevant Policy Area Principles of Development Control</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <b>Assessment</b> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------|
| <p><i>2 Development should:</i></p> <p><i>(a) be primarily detached dwellings, with sensitive infill development sited and designed so as to be inconspicuous from the streetscape, and maintain the desired character and key streetscape setting features.</i></p> <p><i>(b) conserve the physical attributes and key streetscape setting features comprising:</i></p> <p><i>(i) setting - the regular prevailing subdivision and allotment pattern that produces a characteristic streetscape pattern of allotment frontages, buildings and gardens spaced behind generally open fenced front boundaries. Primary street setbacks are generally 6m to 8m and side setbacks consistently no less than 1m and most often greater.</i></p> <p><i>(ii) form - the characteristic features of consistent scale and proportions of buildings including wall heights and roof designs to the streetscape</i></p> <p><i>(iii) key elements – good articulation of walls and roofs to street facades to reduce the scale, bulk and dominance of buildings to the streetscape.</i></p> | Satisfies         |

**Relevant Council Wide Objectives and Principles of Development Control**

| <b>Relevant Council Wide Provisions</b>                                                                                                                                                                                                                                                                                 | <b>Assessment</b>                                                         |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------|
| <b>Residential Development</b>                                                                                                                                                                                                                                                                                          |                                                                           |
| 13 Except where specified in a relevant zone or policy area, dwelling setbacks from side and rear boundaries should be progressively increased as the height of the building increases to minimise massing and overshadowing impacts to adjoining properties and should be in accordance with the following parameters: | Satisfies<br><br>On side setback, PDC13 seeks for buildings between 4 and |

| Building height from ground level of the adjoining affected land (metres)                      | Site area (square metres) | Minimum side boundary setback (metres)                           | Minimum rear boundary setback (metres)                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           |
|------------------------------------------------------------------------------------------------|---------------------------|------------------------------------------------------------------|-------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|
| ≤4                                                                                             | ≤300                      | 1                                                                | 3                                                           | <p>7 metres in height to be setback 3m. The highest point of 6.5m is some 3.2m from the side boundary, satisfying the intent of this policy.</p> <p>The wall height of 3.3m is setback 1m, also satisfying this policy.</p> <p>On rear setback, the proposal is a 3.4m high wall with the top of the curved wall being 4.4m. The wall is 4.5m wide. This wall is 1.5m from the southern boundary, whereas PDC13 seeks 4m high walls to be setback 5m, and higher elements to be setback 8m.</p> <p>As an existing shed has a similar siting to the proposal, this entails the visual and shading impact is similar.</p> |           |
|                                                                                                | >300                      | 1                                                                | 5                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           |
| >4 – 7                                                                                         | ≤300                      | 2                                                                | 6                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           |
|                                                                                                | >300                      | 3                                                                | 8                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           |
| >7                                                                                             | ≤300                      | 3 (plus half the equivalent increase in building height over 7m) | 6 (plus the equivalent increase in building height over 7m) |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           |
|                                                                                                | >300                      | 4 (plus the equivalent increase in building height over 7m)      | 8 (plus the equivalent increase in building height over 7m) |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           |
| 19 Private and communal open space should be provided as part of a residential development to: |                           |                                                                  |                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | Satisfies |
| (a) create outdoor living areas;                                                               |                           |                                                                  |                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |           |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p>(b) provide 'soft' landscapes within an urban setting;<br/> (c) allow reasonable entry of natural light;<br/> (d) provide opportunities for permeable areas to allow for on-site water harvesting and aquifer recharge;<br/> (e) facilitate landscaping, food production and backyard biodiversity.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| <p>20 Private open space should be provided for each dwelling and sited and designed to be:<br/> (a) located adjacent or behind the primary street facing building facade and be exclusive of storage areas, outbuildings, carports, driveways, parking spaces and roofed pergolas and associated structures;<br/> (b) screened from public areas and adjoining properties with fencing of not less than 1.8 metres above finished ground level;<br/> (c) sited to receive direct winter sunlight;<br/> (d) of sufficient area with a minimum of 20 percent of the site area (&gt;300 square metre site area per dwelling) and 35 square metres (≤300 square metres site area per dwelling) within a residential zone and 20 square metres for each site within a non-residential zone;<br/> (e) useable for residents and visitors with a minimum of 4 metres (residential zone) and 3 metres (non-residential zone) in any one direction, a maximum grade of 1:10, and directly accessible from a habitable room.</p> | <p>Does not satisfy</p> <p>The Plan anticipates private open space with a dimension of 4m.</p> <p>If areas of 1.5m dimension are included, noting policy usually expects 2 – 2.5m width as a minimum, then 15% is provided. This is at reasonable odds with PDC20 seeking 20%, as well as wider dimensions.</p> <p>This low amount is partly consequent on retaining the existing dwelling, including its sizeable landscaped frontage that is technically not included as private open space.</p> <p>On balance, siting living</p> |



|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             | <p>spaces with windows and doors accessing dual courtyards provides ready access to open space, and extensive internal/external relationships.</p> <p>This approach is considered satisfactory with respect to the Plan's open space expectations.</p>                                                                                                                                   |
| <p>41 Development should allow direct winter sunlight access to adjacent residential properties and minimise the overshadowing of:</p> <p>(a) living room windows, wherever practicable;</p> <p>(b) the majority of private open space areas, communal open space and upper level balconies that provide the primary open space provision;</p> <p>(c) roof areas, preferably north facing and suitable for the siting of at least 4 solar panels on any dwelling; or where such affected areas are already shaded, the additional impact should not significantly worsen the available sunlight access.</p> | <p>Satisfies</p> <p>Midwinter, the dwelling to the south (54 Avenue Road) receives sunlight to around 2/3rds of its rear yard, and its north facing windows are not impacted. This satisfies PDC41.</p> <p>Noting the existing two storey nature of 13 Yeo, the additional shadow cast by the proposal does not significantly worsen shadow on 13 Yeo mid-winter. The proposal casts</p> |

|  |                                             |
|--|---------------------------------------------|
|  | no shadow on 13 Yeo to the west after 11am. |
|--|---------------------------------------------|

**9. DISCUSSION**

The proposal for a single storey addition, carport, verandah and pool is a form of development anticipated in the Zone. Its shadow impacts on adjacent sites are modest, and well within the Plan anticipates. The Tudor style dwelling and its extensive front yard continue to contribute to the landscape character of Yeo Avenue.

The addition’s roof form is of visual interest, in a manner similar to other contemporary roof forms in Yeo Avenue. The rear addition is set off the boundary and largely replaces an existing shed. The wrap around verandah in front of the Tudor dwelling on balance complements the overall appearance of the site.

**10. CONCLUSION**

In summary, the application is not considered to be seriously at variance with the Development Plan and is considered to satisfy the provisions of the Development Plan for the following reasons:

- The addition enables the visual presence of the Tudor dwelling and its front yard to continue to contribute to the cohesive landscape character of Yeo Ave.
- The visual impact and shadow cast is within what the Plan anticipates.
- Private open space meets the liveability intent of the Plan.

The application is therefore recommended for Development Plan CONSENT.

**11. RECOMMENDATION**

MOVED:

SECONDED:

That Development Application 090/977/2020/C2 at 11 Yeo Avenue, Highgate SA 5063 to ‘Construct alterations and additions to a single storey detached dwelling, construct carport on western boundary and an inground swimming pool near southern boundary’ is not seriously at variance with the provisions of the City of Unley Development Plan and should be GRANTED Planning Consent subject to the following conditions:

**DEVELOPMENT PLAN CONSENT DETAILS OF DECISION:**

1. The Development herein approved shall be undertaken in accordance with all plans, drawings, specifications and other documents submitted to Council and forming part of the relevant Development Application except

where varied by conditions set out below (if any) and the development shall be undertaken to the satisfaction of Council.

2. All stormwater from the building and site shall be disposed of so as to not adversely affect any properties adjoining the site or the stability of any building on the site. Stormwater shall not be disposed of over a crossing place.
  
3. That the total stormwater volume requirement (detention and retention) for the development herein approved shall be determined in accordance with the volume requirements and discharge rates specified in Table 3.1 and 4.1 in the City of Unley Development and Stormwater Management Fact Sheet dated 15 January 2017. Further details shall be provided to the satisfaction of Council prior to issue of Development Approval.

**NOTES PERTAINING TO DEVELOPMENT PLAN CONSENT:**

- That waste water from the swimming pool shall be discharged to the sewer, and not be allowed to flow onto adjoining properties or the street water table under any circumstances.
  
- It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
  
- The applicant is reminded of the requirements of the Fences Act 1975. Should the proposed works require the removal, alteration or repair of an existing boundary fence or the erection of a new boundary fence, a 'Notice of Intention' must be served to adjoining owners. Please contact the Legal Services Commission for further advice on 1300 366 424 or refer to their web site at [www.lsc.sa.gov.au](http://www.lsc.sa.gov.au).
  
- The emission of noise from the premises is subject to control under the Environment Protection Act and Regulations, 1993 and the applicant (or person with the benefit of this consent) should comply with those requirements.

| List of Attachments |                             | Supplied By:   |
|---------------------|-----------------------------|----------------|
| <b>A</b>            | Application Documents       | Applicant      |
| <b>B</b>            | Representations             | Administration |
| <b>C</b>            | Response to Representations | Applicant      |

**ATTACHMENT A**

## ATTACHMENT A

**AMENDED PLAN / DOCUMENT  
DATE: 18/03/2021**



|     |          |                |
|-----|----------|----------------|
| 1.1 | 01.02.21 | amended plan   |
| 1.0 | 18.12.20 | issued for dpc |
| rev | date     | description    |

**archaea**

locality  
nts @ A3

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|                 |                                    |
|-----------------|------------------------------------|
| client          | project                            |
| amelia + andrew | iyeo yo!<br>11 yeo ave<br>highgate |

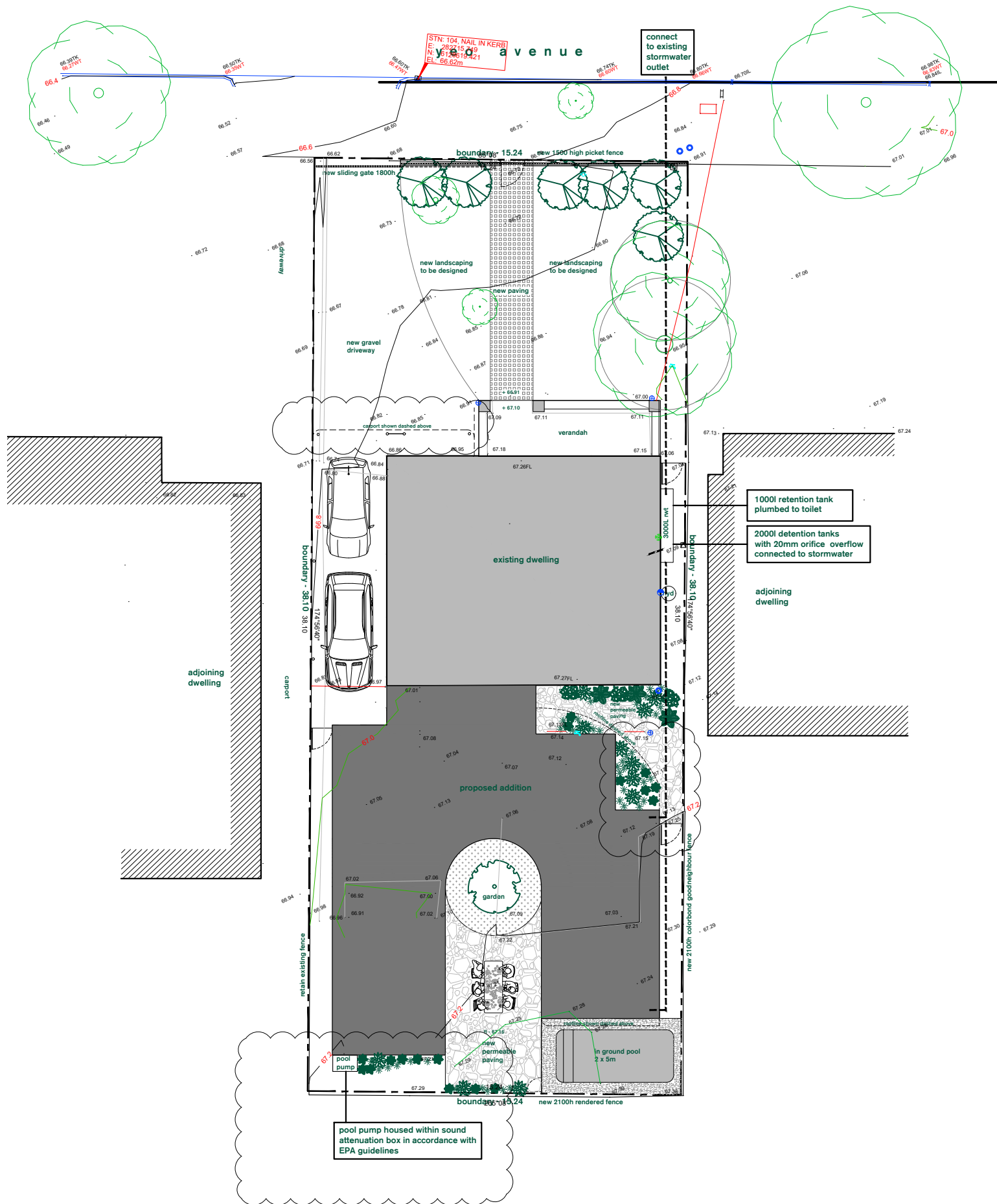


|             |         |          |             |
|-------------|---------|----------|-------------|
| project no. | dwg no. | revision | date        |
| 20-100      | P00     | 1.1      | feb<br>2021 |

**FOR APPROVAL ONLY  
NOT FOR CONSTRUCTION**

# AMENDED PLAN / DOCUMENT DATE: 18/03/2021

| areas         |                          |
|---------------|--------------------------|
| site plan     | 580 m <sup>2</sup>       |
| existing plan | 104 m <sup>2</sup>       |
| verandah      | 16 m <sup>2</sup>        |
| addition      | 139 m <sup>2</sup>       |
| carport       | 37 m <sup>2</sup>        |
| <b>total</b>  | <b>296 m<sup>2</sup></b> |
| site coverage | 51 %                     |
| p.o.s         | 20.4 %                   |



| 1.1 | 01.02.21 | amended plan   |
|-----|----------|----------------|
| 1.0 | 18.12.20 | issued for dpc |
| rev | date     | description    |

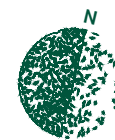
# archaea

site plan  
1:200 @ A3

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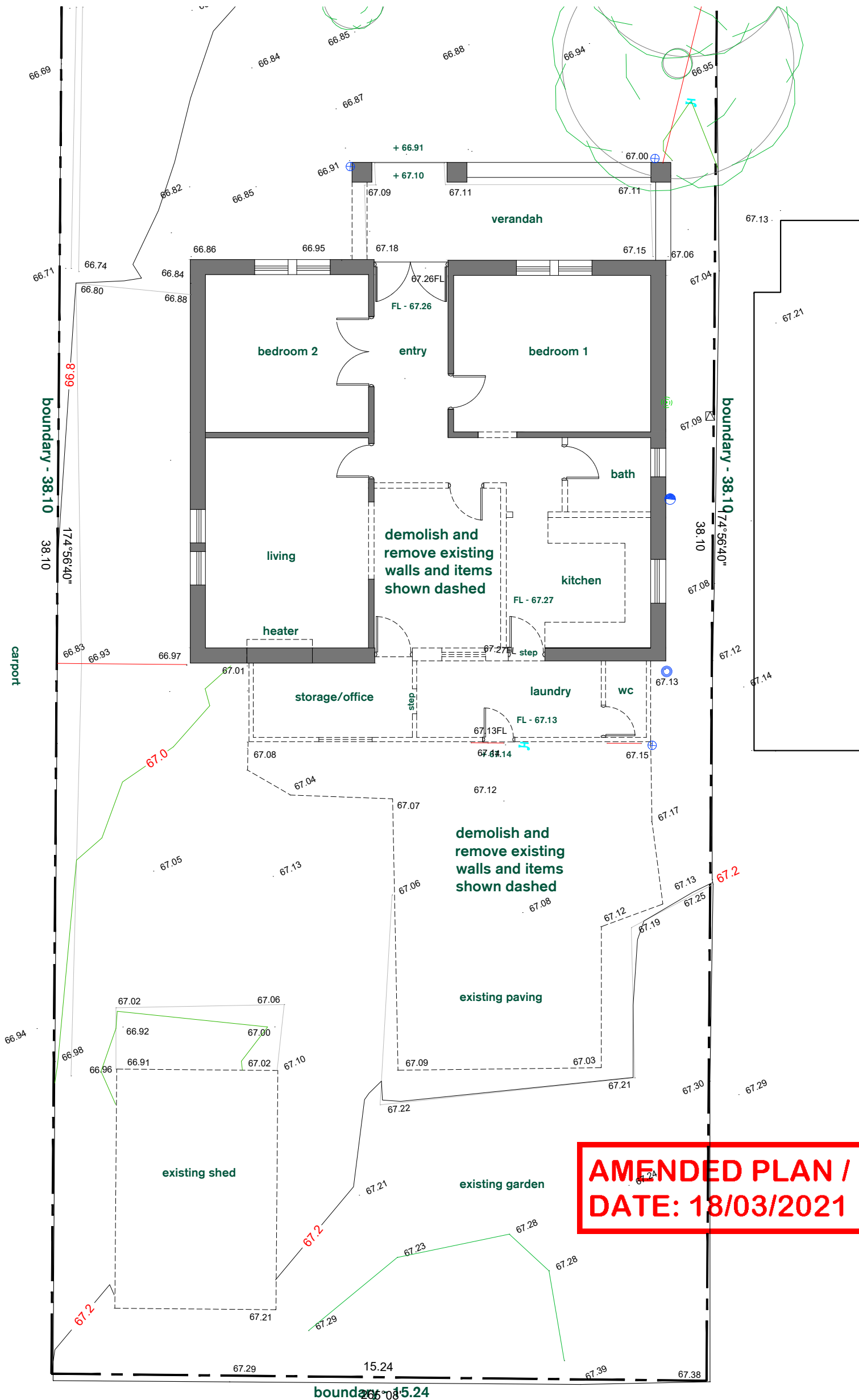
client  
**amelia + andrew**

project  
**iyeo yo!  
11 yeo ave  
highgate**



| project no. | dwg no. | revision | date     |
|-------------|---------|----------|----------|
| 20-100      | P01     | 1.1      | feb 2021 |

**FOR APPROVAL ONLY  
NOT FOR CONSTRUCTION**



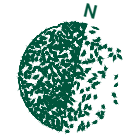
**AMENDED PLAN / DOCUMENT  
DATE: 18/03/2021**

**archaea**

**existing plan**  
1:100 @ A3

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client **amelia + andrew**  
project **iyeo yo!  
11 yeo ave  
highgate**



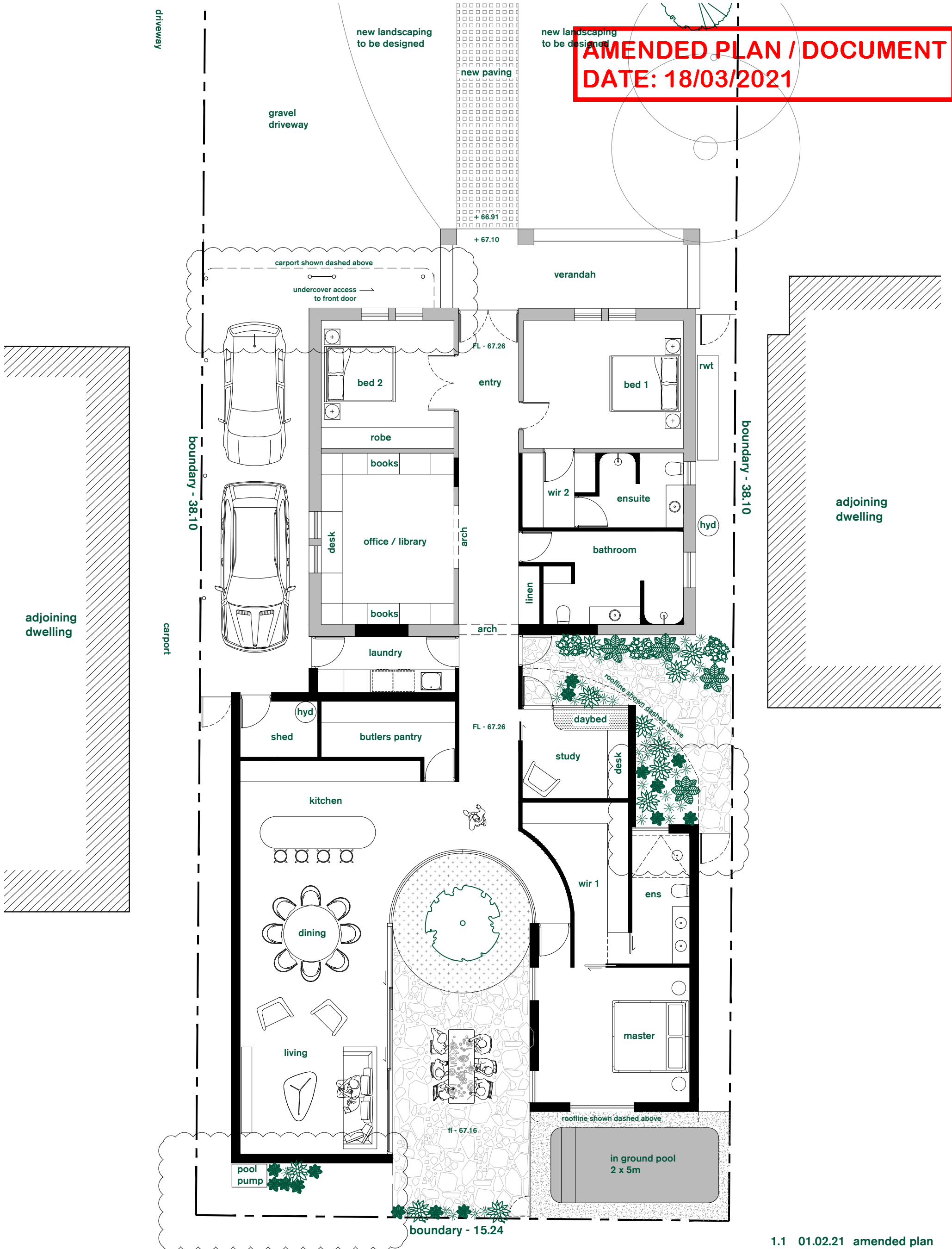
| rev | date     | description    |
|-----|----------|----------------|
| 1.0 | 18.12.20 | issued for dpc |

| project no. | dwg no. | revision | date     |
|-------------|---------|----------|----------|
| 20-100      | P02     | 1.0      | dec 2020 |

**FOR APPROVAL ONLY  
NOT FOR CONSTRUCTION**

**AMENDED PLAN / DOCUMENT  
DATE: 18/03/2021**



|     |          |                |
|-----|----------|----------------|
| 1.1 | 01.02.21 | amended plan   |
| 1.0 | 18.12.20 | issued for dpc |
| rev | date     | description    |

**archaea**

**floor plan**  
1:100 @ A3

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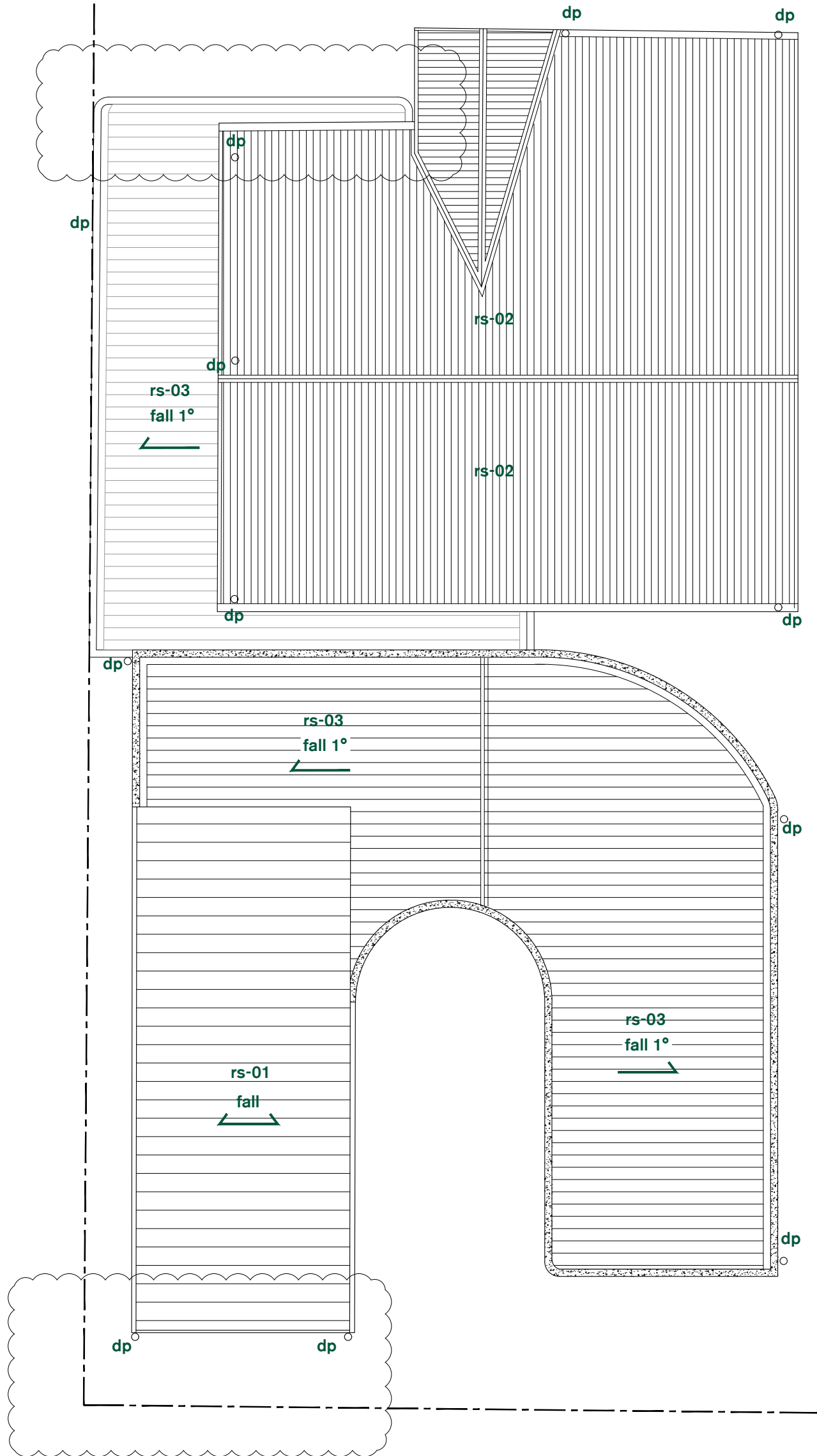
client  
**amelia + andrew**

project  
**iyeo yo!  
11 yeo ave  
highgate**

|             |         |          |          |
|-------------|---------|----------|----------|
| project no. | dwg no. | revision | date     |
| 20-100      | P03     | 1.1      | feb 2021 |

**FOR APPROVAL ONLY  
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1.1 01.02.21 amended plan  
 1.0 18.12.20 issued for dpc

| rev | date     | description    |
|-----|----------|----------------|
| 1.1 | 01.02.21 | amended plan   |
| 1.0 | 18.12.20 | issued for dpc |

**archaea**

roof

1:100 @ A3

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client

amelia + andrew

project

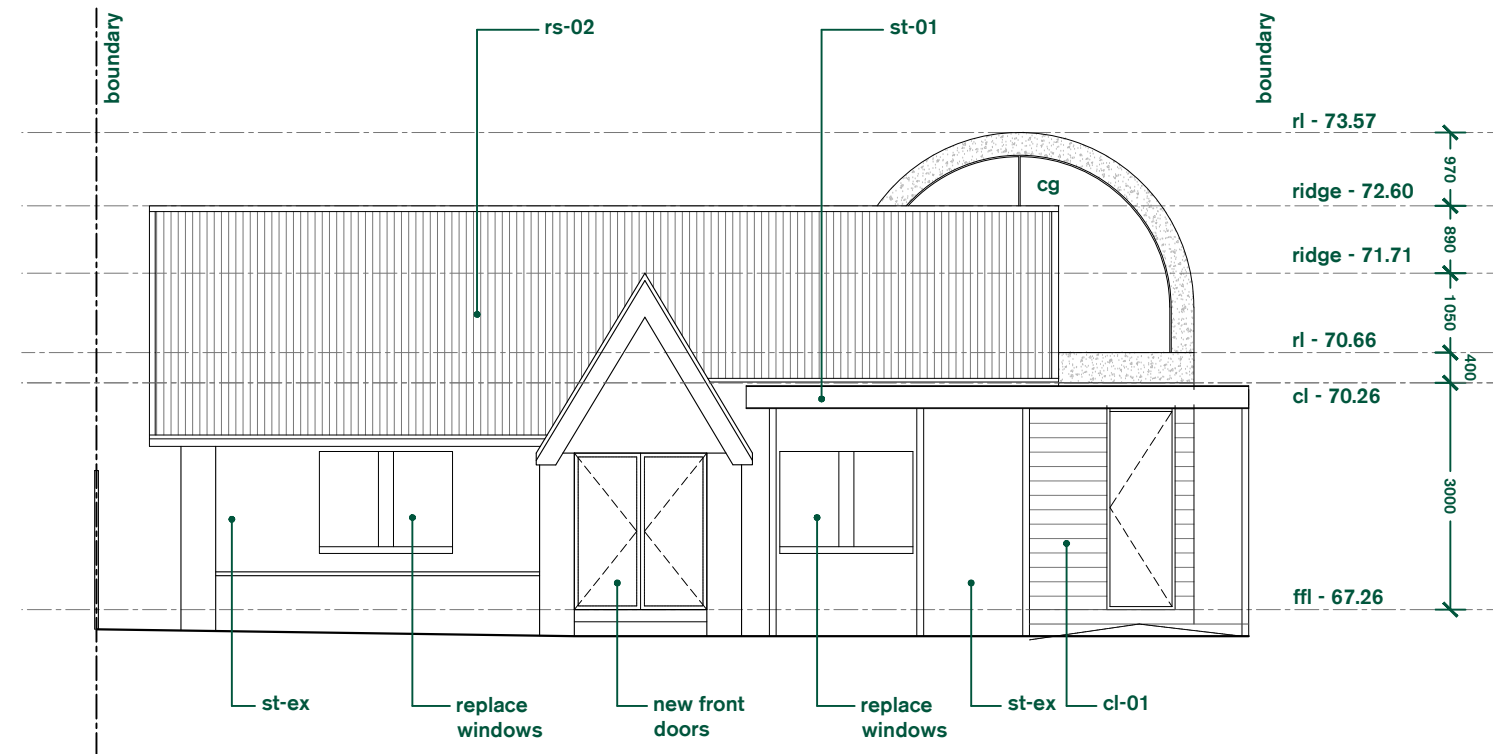
iyeo yo!  
 11 yeo ave  
 highgate



| project no. | dwg no. | revision | date     |
|-------------|---------|----------|----------|
| 20-100      | P04     | 1.1      | feb 2021 |

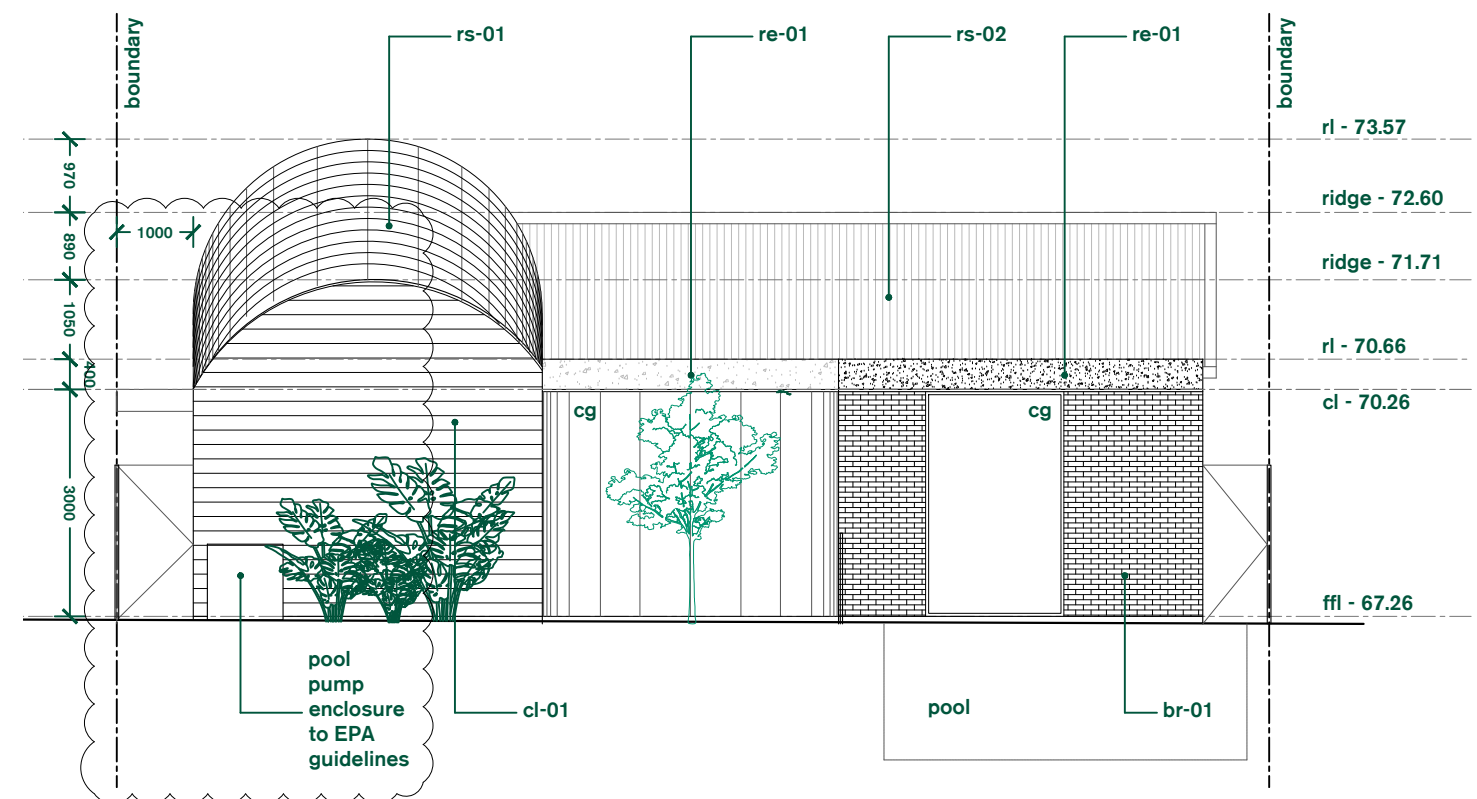
**FOR APPROVAL ONLY**  
**NOT FOR CONSTRUCTION**

| legend |                                               |
|--------|-----------------------------------------------|
| re-01  | concrete texture render                       |
| br-01  | bagged brick - white                          |
| cl-01  | weatherboard - painted white                  |
| st-01  | painted steel carport - white                 |
| st-ex  | existing stone                                |
| br-ex  | existing brick                                |
| rs-01  | standing seam roofing - zincalume             |
| rs-02  | true oak roof corrugated sheeting - zincalume |
| rs-03  | revklip roof sheeting - zincalume             |
| cg     | clear glazing                                 |
| fg     | fluted glass                                  |



north elevation

AMENDED PLAN / DOCUMENT  
DATE: 18/03/2021



south elevation

**archaea**

elevations  
1:100 @ A3

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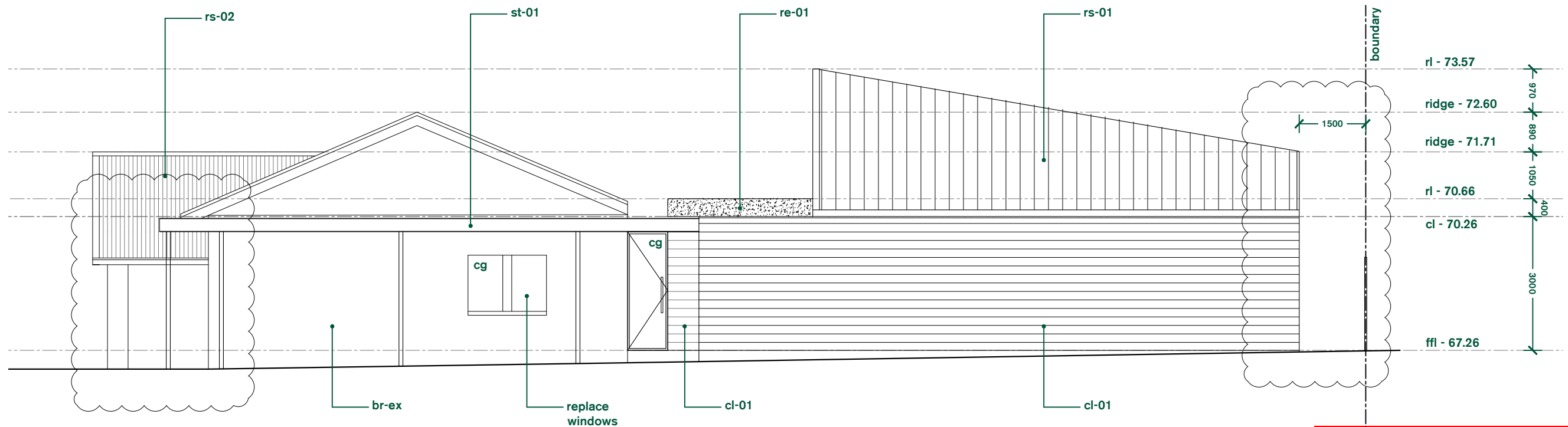
client  
**amelia + andrew**

project  
**iyeo yo!  
11 yeo ave  
highgate**

| rev | date     | description    |
|-----|----------|----------------|
| 1.1 | 01.02.21 | amended plan   |
| 1.0 | 18.12.20 | issued for dpc |

| project no. | dwg no. | revision | date     |
|-------------|---------|----------|----------|
| 20-100      | P05     | 1.1      | feb 2021 |

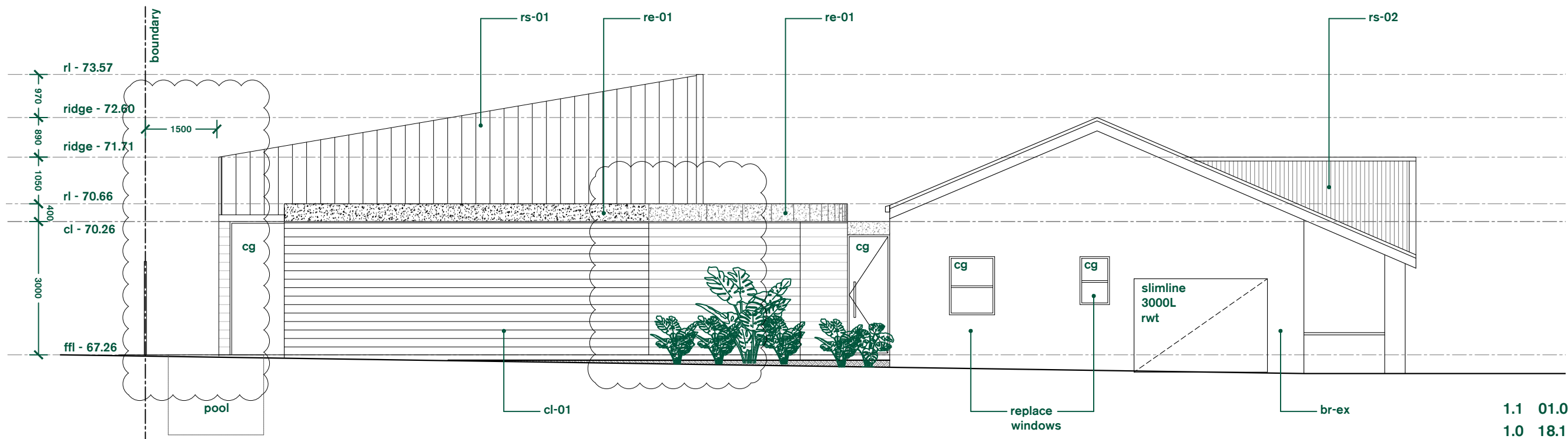
**FOR APPROVAL ONLY  
NOT FOR CONSTRUCTION**



| legend |                                               |
|--------|-----------------------------------------------|
| re-01  | concrete texture render                       |
| br-01  | bagged brick - white                          |
| cl-01  | weatherboard - painted white                  |
| st-01  | painted steel carport - white                 |
| st-ex  | existing stone                                |
| br-ex  | existing brick                                |
| rs-01  | standing seam roofing - zincalume             |
| rs-02  | true oak roof corrugated sheeting - zincalume |
| rs-03  | revklip roof sheeting - zincalume             |
| cg     | clear glazing                                 |
| fg     | fluted glass                                  |

west elevation

**AMENDED PLAN / DOCUMENT  
DATE: 18/03/2021**



east elevation

| 1.1 | 01.02.21 | amended plan   |
|-----|----------|----------------|
| 1.0 | 18.12.20 | issued for dpc |
| rev | date     | description    |

**archaea**

elevations

1:100 @ A3

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client project

amelia + andrew

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11 yeo ave  
highgate

project no. dwg no. revision date

20-100 P06 1.1 feb 2021

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# SUPERSSEED



| rev | date     | description    |
|-----|----------|----------------|
| 1.0 | 18.12.20 | issued for dpc |

| project no. | dwg no. | revision | date     |
|-------------|---------|----------|----------|
| 20-100      | P00     | 1.0      | dec 2020 |

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**archaea**

locality

nts @ A3

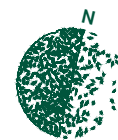
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client

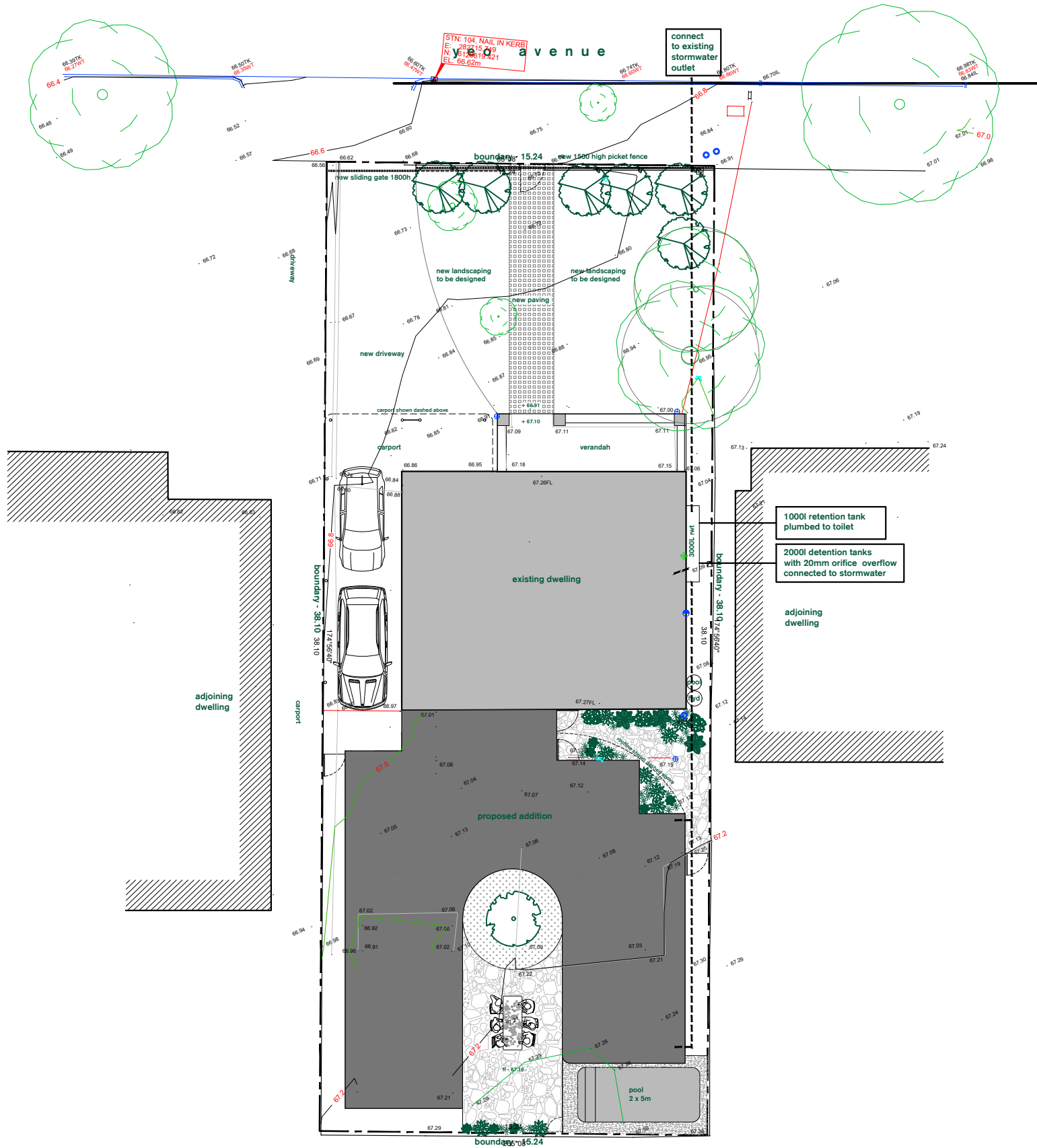
amelia + andrew

project

iyeo yo!  
11 yeo ave  
highgate



| areas         |                          |
|---------------|--------------------------|
| site plan     | 580 m <sup>2</sup>       |
| existing plan | 104 m <sup>2</sup>       |
| verandah      | 16m <sup>2</sup>         |
| addition      | 148 m <sup>2</sup>       |
| carport       | 48m <sup>2</sup>         |
| <b>total</b>  | <b>316 m<sup>2</sup></b> |
| site coverage | 54 %                     |



SUPERSEDED

1.0 18.12.20 issued for dpc

| rev | date     | description    |
|-----|----------|----------------|
| 1.0 | 18.12.20 | issued for dpc |

**archaea**

site plan

1:200 @ A3

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client

amelia + andrew

project

iyeo yo!  
11 yeo ave  
highgate

project no.

20-100

dwg no.

P01

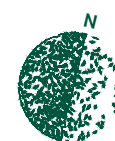
revision

1.0

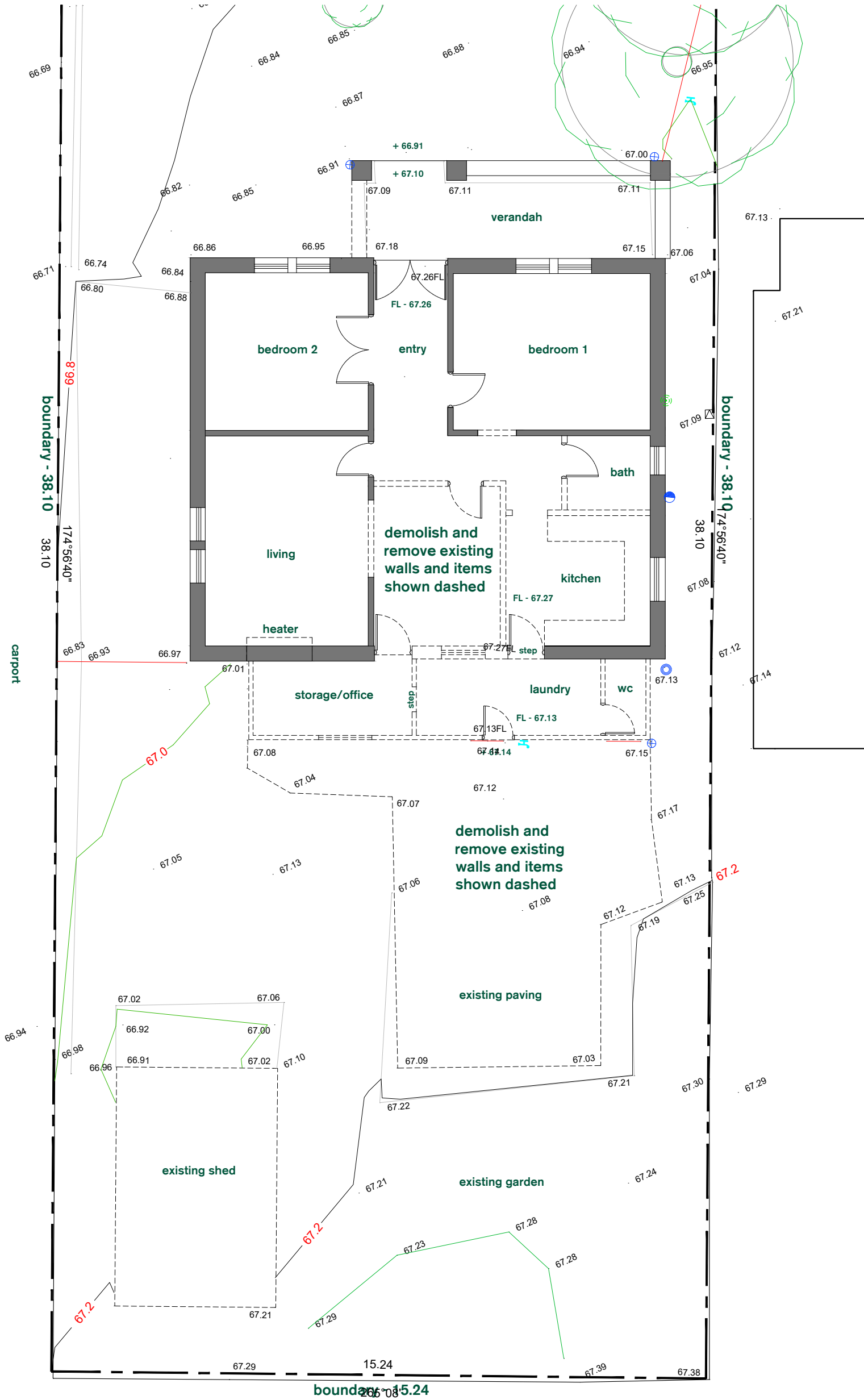
date

dec  
2020

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# SUPPERS EEDDED



1.0 18.12.20 issued for dpc

rev date description

| project no. | dwg no. | revision | date     |
|-------------|---------|----------|----------|
| 20-100      | P02     | 1.0      | dec 2020 |

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142

archaea

existing plan

1:100 @ A3

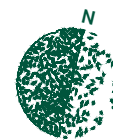
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client

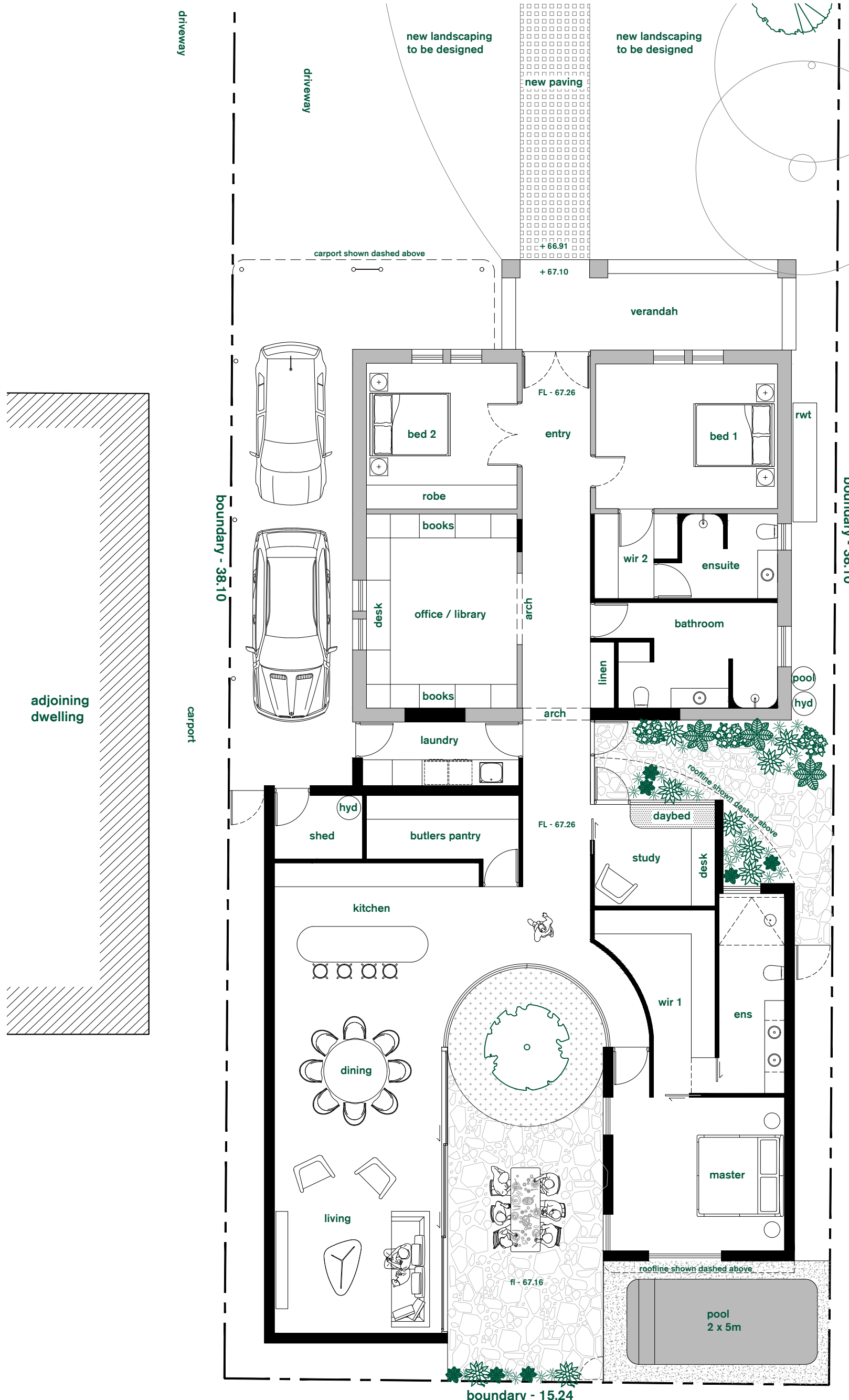
amelia + andrew

project

iyeo yo!  
11 yeo ave  
highgate



# SUPERSEEDED



| rev | date     | description    |
|-----|----------|----------------|
| 1.0 | 18.12.20 | issued for dpc |

| project no. | dwg no. | revision | date     |
|-------------|---------|----------|----------|
| 20-100      | P03     | 1.0      | dec 2020 |

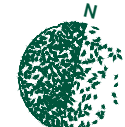
**FOR APPROVAL ONLY  
NOT FOR CONSTRUCTION**

**archaea**

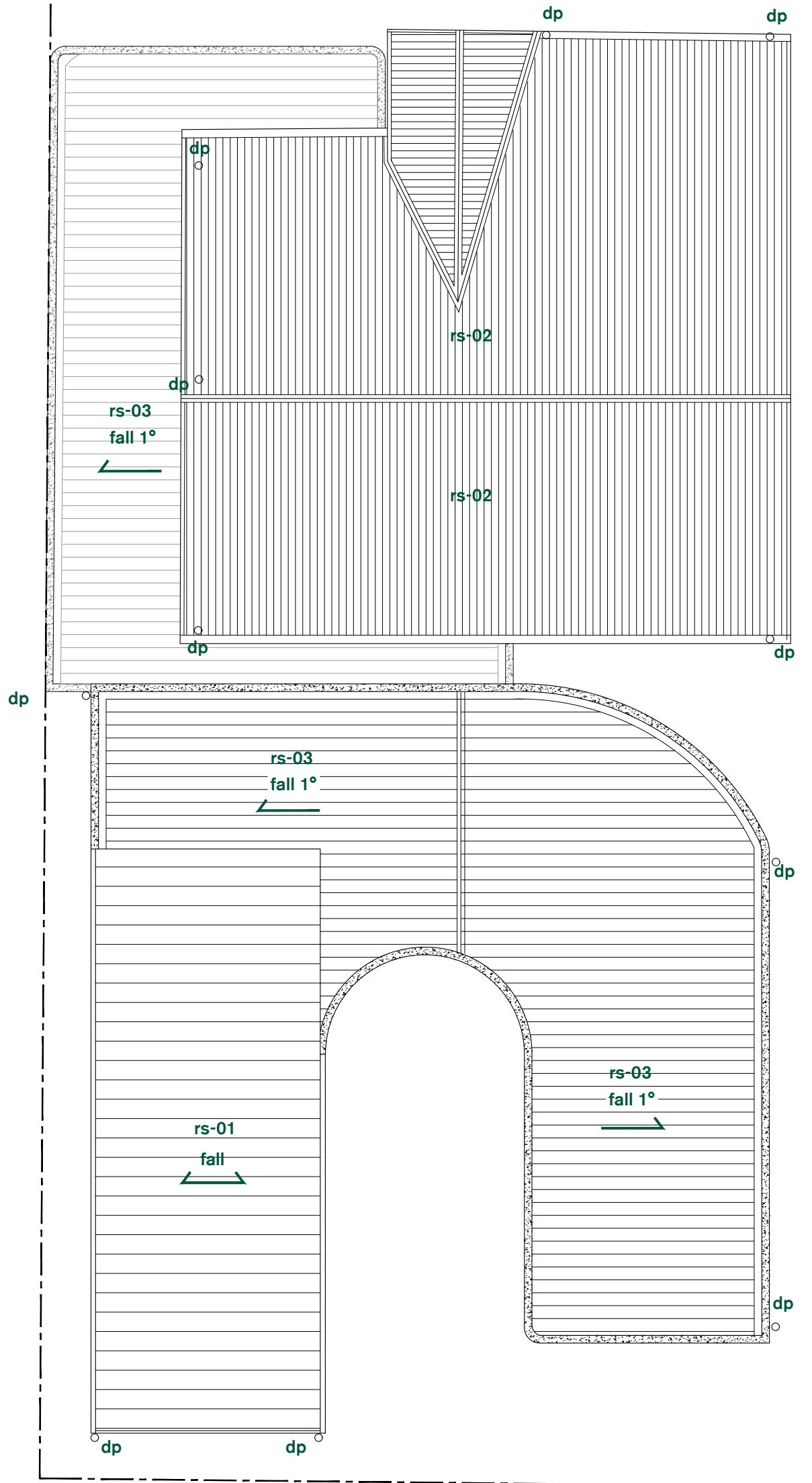
**floor plan**  
1:100 @ A3

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client: **amelia + andrew**  
project: **iyeo yo!  
11 yeo ave  
highgate**



# SUPERSSEDED



1.0 18.12.20 issued for dpc

rev date description

| project no. | dwg no. | revision | date     |
|-------------|---------|----------|----------|
| 20-100      | P04     | 0.1      | dec 2020 |

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144

**archaea**

roof

1:100 @ A3

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client

amelia + andrew

project

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11 yeo ave  
highgate

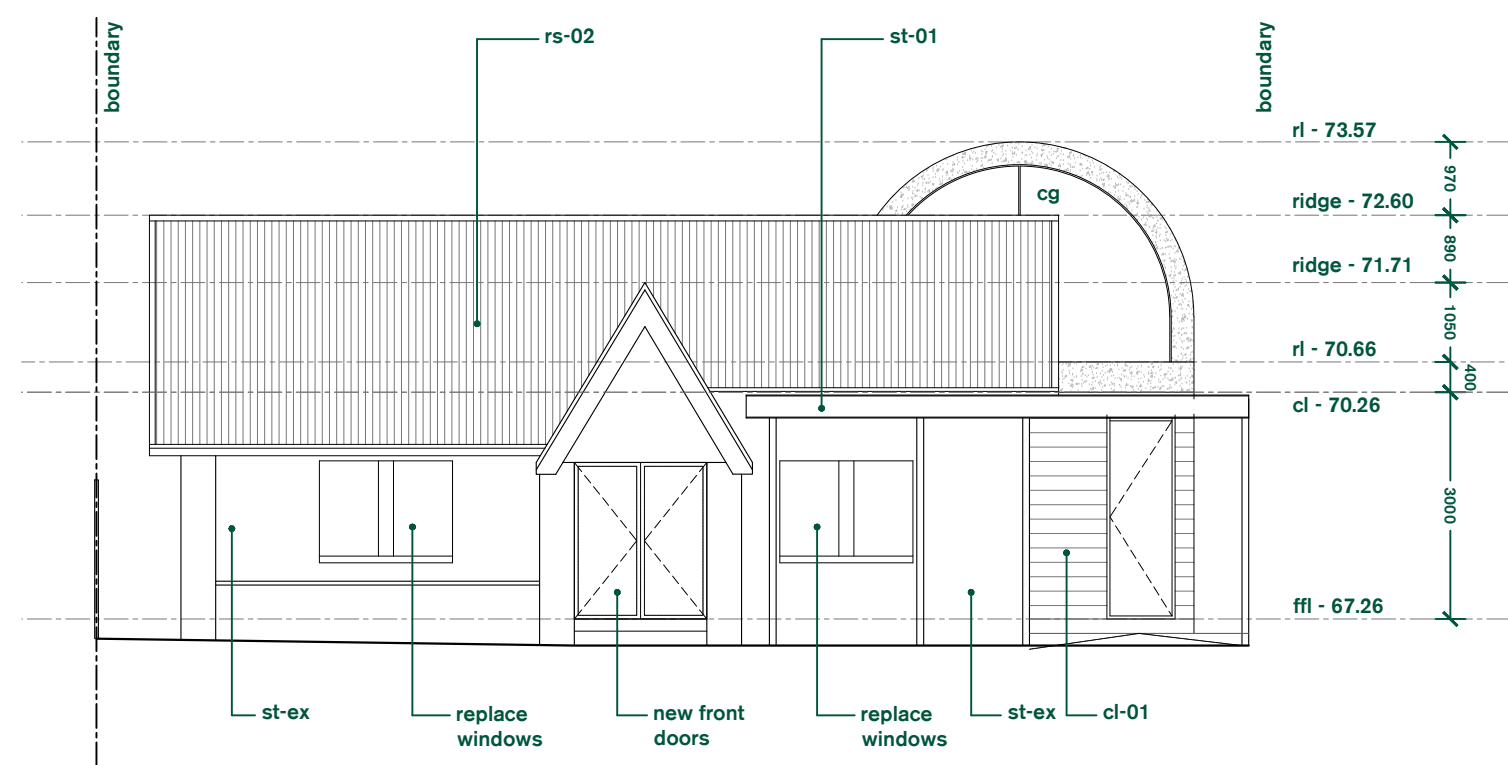




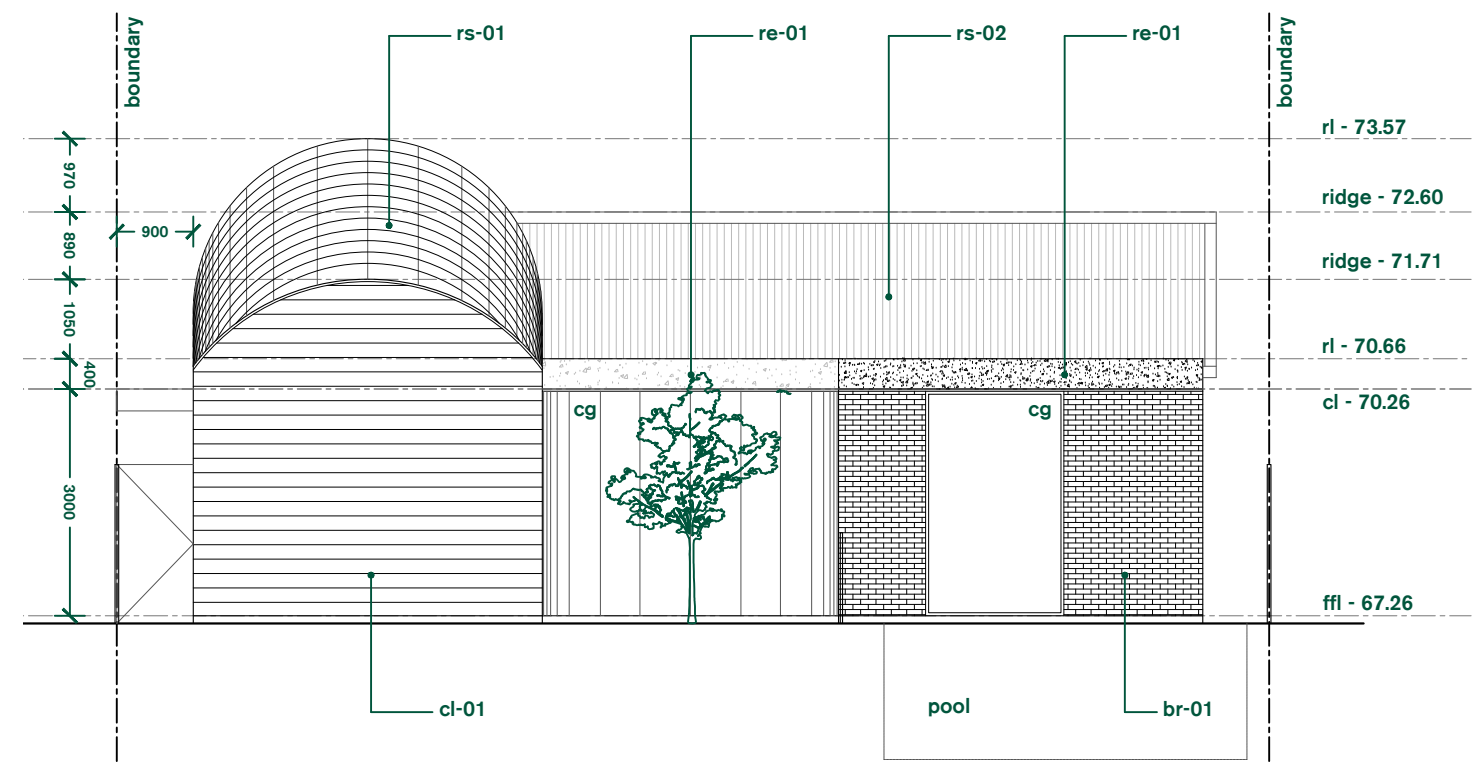
# SUPERS E EDED

**legend**

|       |                                               |
|-------|-----------------------------------------------|
| re-01 | concrete texture render                       |
| br-01 | bagged brick - white                          |
| cl-01 | weatherboard - painted white                  |
| st-01 | painted steel carport - white                 |
| st-ex | existing stone                                |
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| rs-02 | true oak roof corrugated sheeting - zincalume |
| rs-03 | revklip roof sheeting - zincalume             |
| cg    | clear glazing                                 |
| fg    | fluted glass                                  |



north elevation



south elevation

| rev | date     | description    |
|-----|----------|----------------|
| 1.0 | 18.12.20 | issued for dpc |

**archaea**

elevations  
1:100 @ A3

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| client          | project                            |
|-----------------|------------------------------------|
| amelia + andrew | iyeo yo!<br>11 yeo ave<br>highgate |

| project no. | dwg no. | revision | date        |
|-------------|---------|----------|-------------|
| 20-100      | P05     | 1.0      | dec<br>2020 |

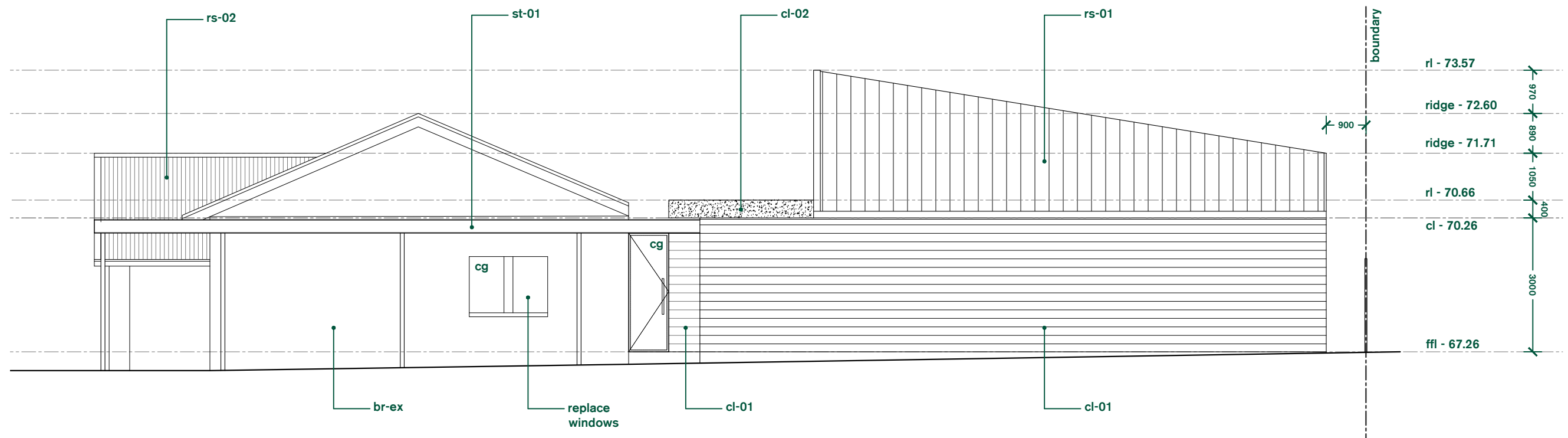
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145

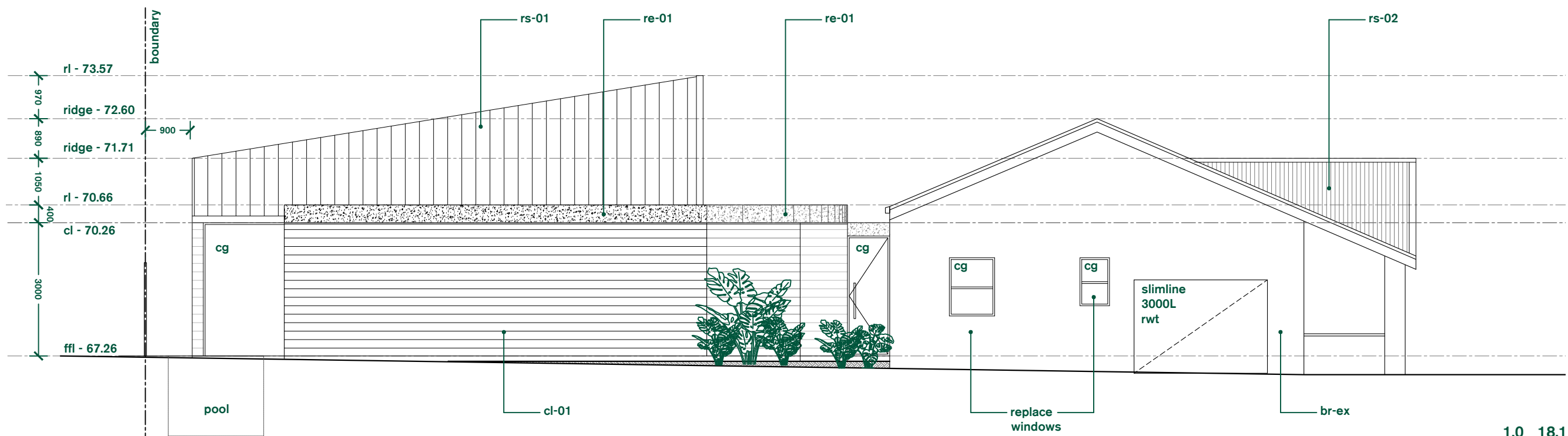
SUPERSEDED

**legend**

|       |                                               |
|-------|-----------------------------------------------|
| re-01 | concrete texture render                       |
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| rs-03 | revklip roof sheeting - zincalume             |
| cg    | clear glazing                                 |
| fg    | fluted glass                                  |



west elevation



east elevation

|     |          |                |
|-----|----------|----------------|
| 1.0 | 18.12.20 | issued for dpc |
| rev | date     | description    |

**archaea**

elevations

1:100 @ A3

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|                 |                                    |
|-----------------|------------------------------------|
| client          | project                            |
| amelia + andrew | iyeo yo!<br>11 yeo ave<br>highgate |

|             |         |          |             |
|-------------|---------|----------|-------------|
| project no. | dwg no. | revision | date        |
| 20-100      | P06     | 1.0      | dec<br>2020 |

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# SUPERSEDED



| REV | DATE       | DESCRIPTION     | CALC | FIELD |
|-----|------------|-----------------|------|-------|
| 0   | 15/07/2020 | INITIAL RELEASE |      |       |

| DATE | DESCRIPTION | CALC | FIELD |
|------|-------------|------|-------|
|      |             |      |       |

### LEGEND

|                      |                      |                      |                      |                      |                      |
|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|
| 47.51TK TOP KERB     | 47.36WT WATER TABLE  | 48.12FL FLOOR LEVEL  | 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL |
| 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL |
| 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL | 48.12IL INVERT LEVEL |

### COORDINATE SYSTEM

|                                  |                       |
|----------------------------------|-----------------------|
| VERTICAL:                        | AHD                   |
| HORIZONTAL:                      | GROUND PLANE ORIENTED |
|                                  | TO: MGA 20 ZONE 54    |
| SCALE: GROUND (CSF = 1.00016906) |                       |

### ADOPTED STATION & AUTHORITY

|                                                   |                    |
|---------------------------------------------------|--------------------|
| PSM 6628/53457                                    | RL: 69.963 SDB     |
| PSM 6628/1823                                     | E: 282850.599 SDB  |
|                                                   | N: 6128673.206 SDB |
| SDB denotes SA Government survey data base values |                    |

### NOTES

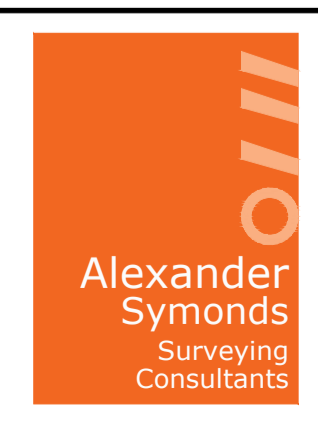
Property boundaries and easements shown hereon have been compiled from government records and show discrepancies to Certificate of Title dimensions. Boundaries have not been verified by field survey. Construction or design on or near boundaries or easements will require additional survey work.

|                   |                |
|-------------------|----------------|
| CONTOUR INTERVAL: | 0.20m          |
| SURVEY:           | DJR 09/07/2020 |
| DRAWN:            | DJR 15/07/2020 |
| CHECKED:          | BAC 15/07/2020 |

Alexander & Symonds Pty Ltd  
 11 King William Street Kent Town,  
 South Australia 5067  
 PO Box 1000 Kent Town, SA 5071  
 ABN 93007 753 988

T (08) 8130 1666  
 F (08) 8362 0099  
 W www.alexander.com.au  
 E adelaide@alexander.com.au

+ Property + Land Development +  
 + Construction + Mining +  
 + Spatial Information Management +



### DETAIL AND LEVEL SURVEY

#### 11 YEO AVENUE HIGHGATE

|             |                          |              |          |   |
|-------------|--------------------------|--------------|----------|---|
| DRAWING No. | 20A0777 Detail(0) MGA20P | SHEET 1 OF 1 | REVISION | 0 |
|-------------|--------------------------|--------------|----------|---|

**ATTACHMENT B**

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY  
23 FEB 2021  
REF:

To: David Bailey, City of Unley Development Section

Please read these notes carefully:

1. Both pages MUST be completed in full and returned to the City of Unley by the closing date to be a valid representation.
2. This page (ie Page 1) will NOT be published on the internet.
3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
4. Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is 5pm on 23 February 2021.

Application: 090/977/2020/C2 11 Yeo Avenue, Highgate SA 5063

Details of Person(s) making Representation:

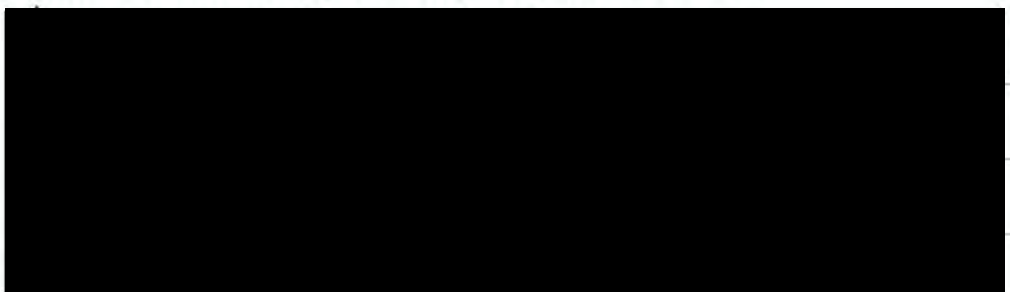
Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected by Development



13 YEO AVE, HIGHGATE, SA 5063

(Signature)

23.02.2021

(Date)

CONTINUED

From Rear:

IT ALSO LOOKS LIKE THE ENTIRE BLOCK IN THE REAR IS BEING BUILT OUT BY VIRTUE OF THE GARDEN IN THE MIDDLE. THIS ESSENTIALLY MEANS A VERY HIGH WALL ALONG OUR ENTIRE EASTERN BOUNDARY

## REPRESENTATION Category 2 (Page 2)

To: David Bailey, City of Unley Development Section

1. This page (ie Page 2) and any attachments may be published on the internet and thus be able to be searched via Google and other internet search engines.
2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is 5pm on 23 February 2021.

|                                  |                                                 |
|----------------------------------|-------------------------------------------------|
| Application:                     | 090/977/2020/C2 11 Yeo Avenue, Highgate SA 5063 |
| Property affected by Development | 13 YEO AVE, HIGHGATE, SA 5063                   |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

~~WE DO NOT TECHNICALLY OBJECT TO THE PROPOSED PLANS AS WE ARE UNABLE TO UNDERSTAND WHAT IS ACTUALLY PROPOSED.~~

THE FRONT VIEW PROVIDED DEPICTS THE HEIGHT OF THE REAR EXTENSION TO BE BELOW THE CURRENT ROOF PEAK. THE WESTERN VIEW DEPICTS THE HEIGHT OF THE REAR EXTENSION TO BE CONSIDERABLY HIGHER THAN THE CURRENT ROOF PEAK. WE ARE CONCERNED ABOUT THE OVERSHADOWING OF MORNING SUN ON OUR BACK GARDEN AND LIGHT TO THE REAR OF OUR HOUSE. THIS IS COMPLICATED BY THE APPLICATION FOR 15 YEO AVE

My concerns (if any) could be overcome by: POTENTIALLY OVERSHADOWING THE AFTERNOON SUN.

WE NEED TO UNDERSTAND THE PLANS CORRECTLY. WE NEED COUNCIL TO LOOK AT BOTH DEVELOPMENTS TOGETHER IN LIGHT OF OVERSHADOWING POTENTIAL ON BOTH SIDES. MEETINGS WITH THE APPLICANTS MAY WELL RESOLVE THE CONCERN. WE CANNOT ALLOW BOTH SIDES TO BE BUILT OUT.

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

\* THE PROPOSED HEIGHT ON THE WESTERN SIDE IS 6.13M SLOPING DOWNWARD TO 4.45M. THIS IS A VERY HIGH EXTENSION FOR A SINGLE STORY. WITH BOTH 11 AND 15 YEO AVE NOW ON APPLICATION THE APPROVAL OF BOTH WILL MEAN A VERY SHORT WINDOW OF LIGHT TO OUR REAR GARDEN EACH DAY. THAT'S OBJECTIONABLE TO US. (OVER) MMB

**ATTACHMENT C**

## Response to Representations

17.03.21

**City of Unley Council**

181 Unley Road  
Unley SA 5061

RE: Development Application – Response to Representations  
11 Yeo Avenue, Highgate SA 5063

Dear David,

On behalf of our Clients, Amelia Eitel and Andrew Tickle, and in response to the Representation received 24th February 2021, we offer the following:

**Myron Mann + Victoria Lewis – 13 Yeo Avenue Highgate 5063**

**Key points summary**

1. Greater understanding of building heights required.
  2. Concerned about overshadowing to their rear garden.
  3. Questioning height of single storey addition.
  4. Concerned by height of wall on Western boundary.
- 
1. The front view that is being referred to is an eye level perspective from the street, whereas the Western elevation is a 2d representation, with no perspective. This was given to Council to show the impact from street view to be negligible. All elevations depict the same total building heights. Whilst the representor denotes the building to be "considerably" higher than the current ridgeline, we contend that the new height is under 1 metre above this level and isolated to a small area with minimal effect on any adjoining properties.
  2. We have provided sun studies for both existing and proposed for the winter solstice and summer solstice based on our CAD accurate modelling. After discussions with Mr Mann and Mrs Lewis, we have shown them that the impact on their property is restricted to a small corner of shadow at 10-10:30am during the winter solstice, after this time there is zero impact. Whilst they were happy that we seem to have quelled their concerns on any impact to their sunlight access, this was not enough for them to withdraw their representation.
  3. As stated earlier, the extra height of the proposed addition is isolated to a small area (done so to allow Northern sunlight into the new living areas) whereby it has no impact on any adjoining areas. This then slopes away as the development moves to the rear of the block so as to limit any impact of the neighbour's amenities. Done so successfully, as depicted in the attached sun studies.
  4. The Western wall being referred to is 3m high and offset from boundary by 1m as depicted in our Southern Elevation (P05 v1.1). We believe this to be within Council guidelines and our allowed building envelope. The high point of the roof further North, is isolated to be behind their existing dwelling as previously mentioned. It is also worth noting, this structure is effectively replacing an old, dilapidated garage/shed. These heights are in keeping with what is already on site.

We trust that you will consider this application favourably and should you wish to discuss any aspect of this application further, please do not hesitate to contact our office.

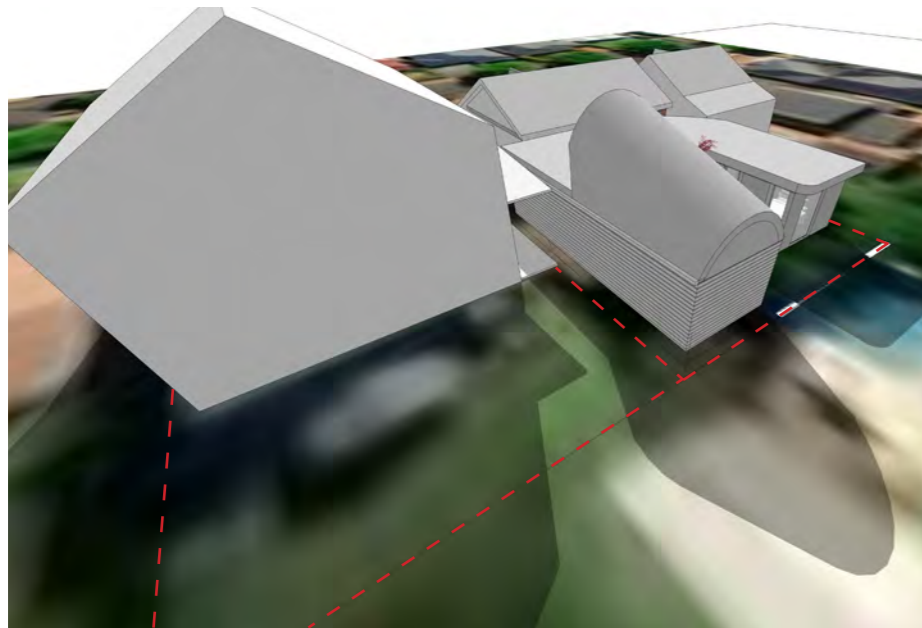
Kind regards,



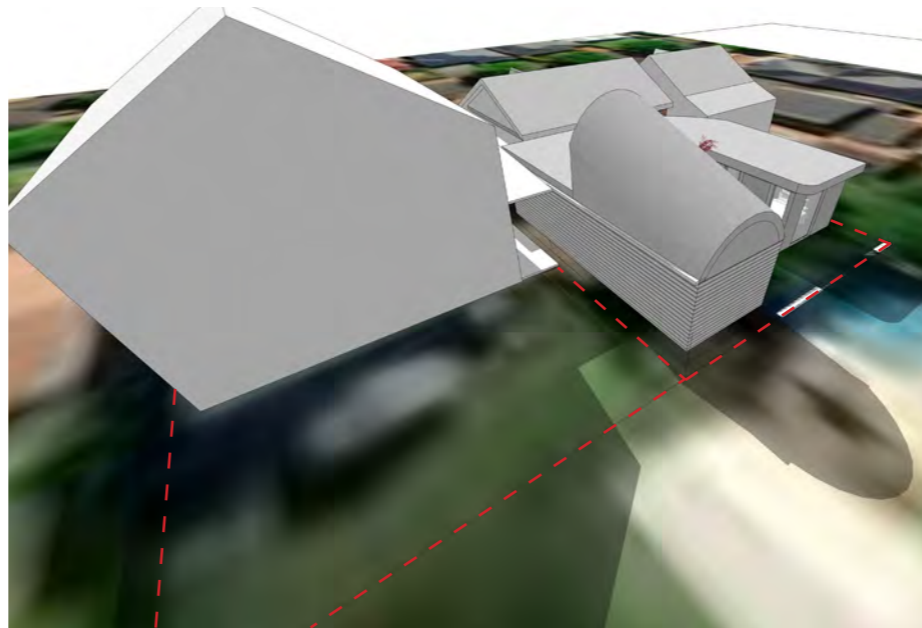
**Sam Lucia**  
Architect AIA

archaea architects  
L2. 36 field st  
adelaide  
south australia 5000

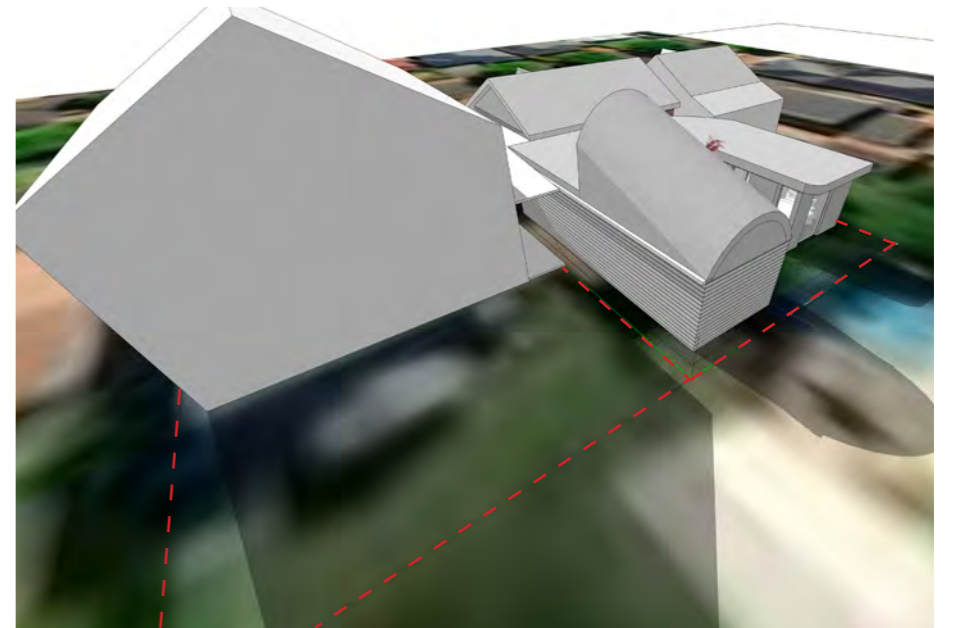




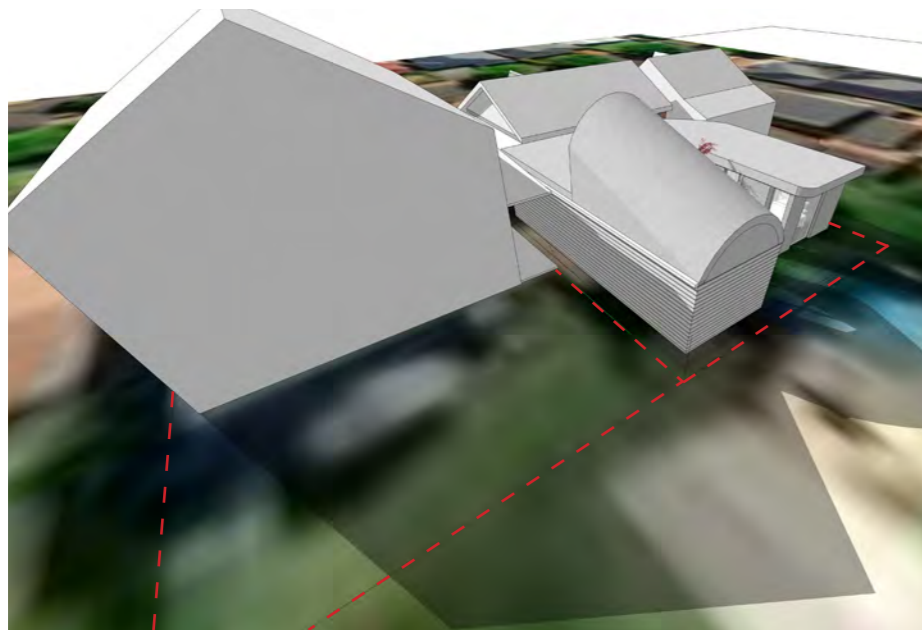
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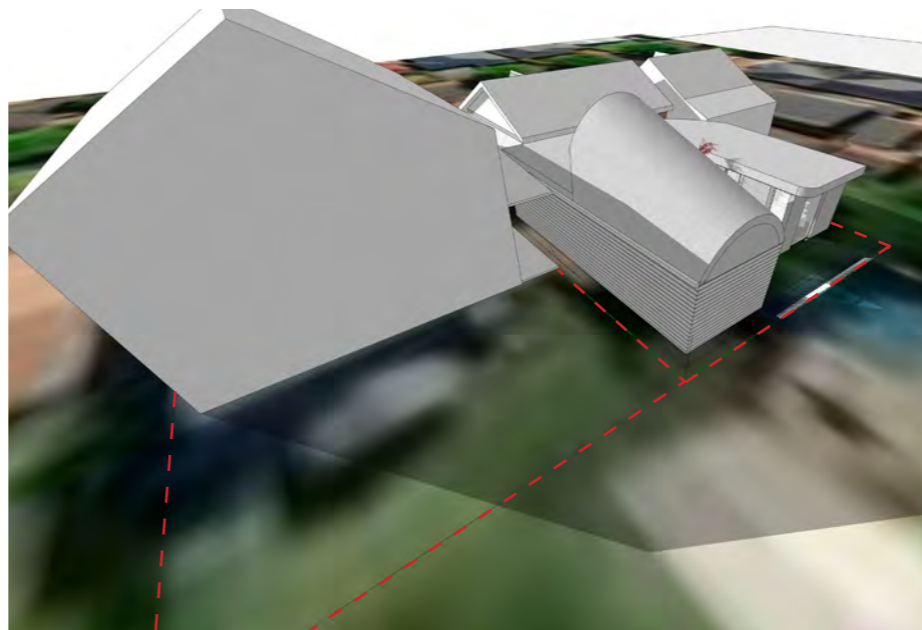
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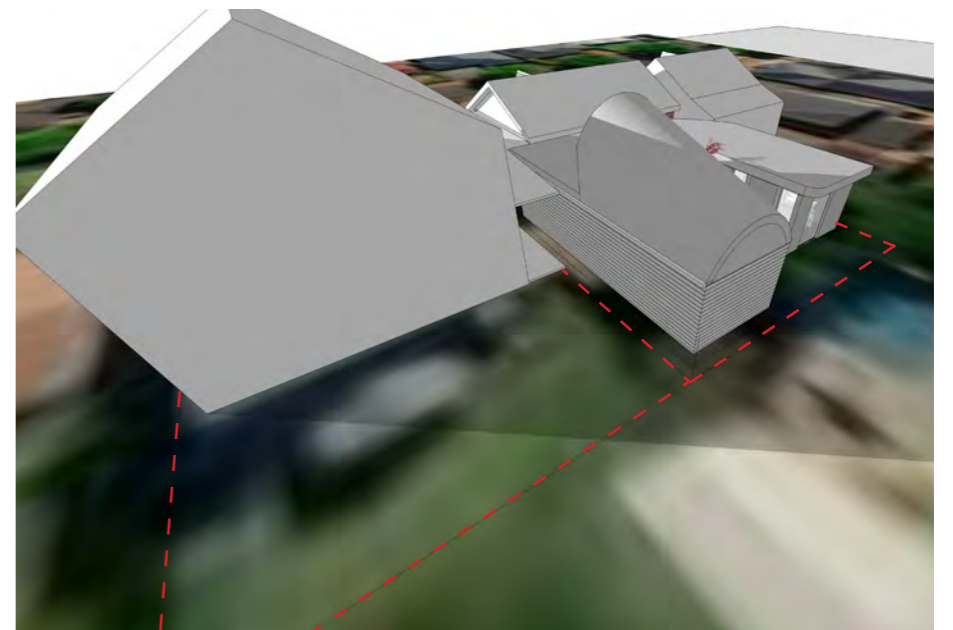
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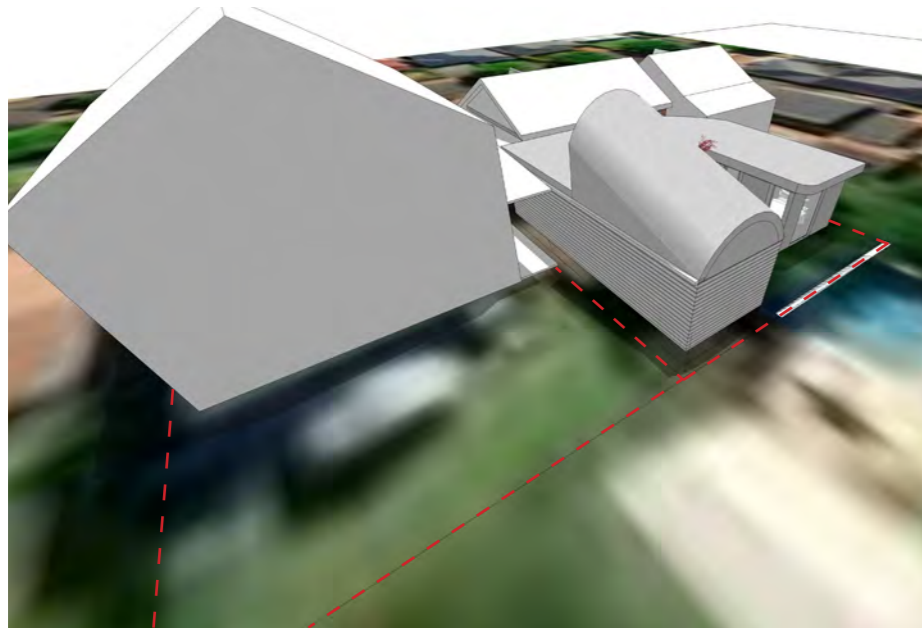
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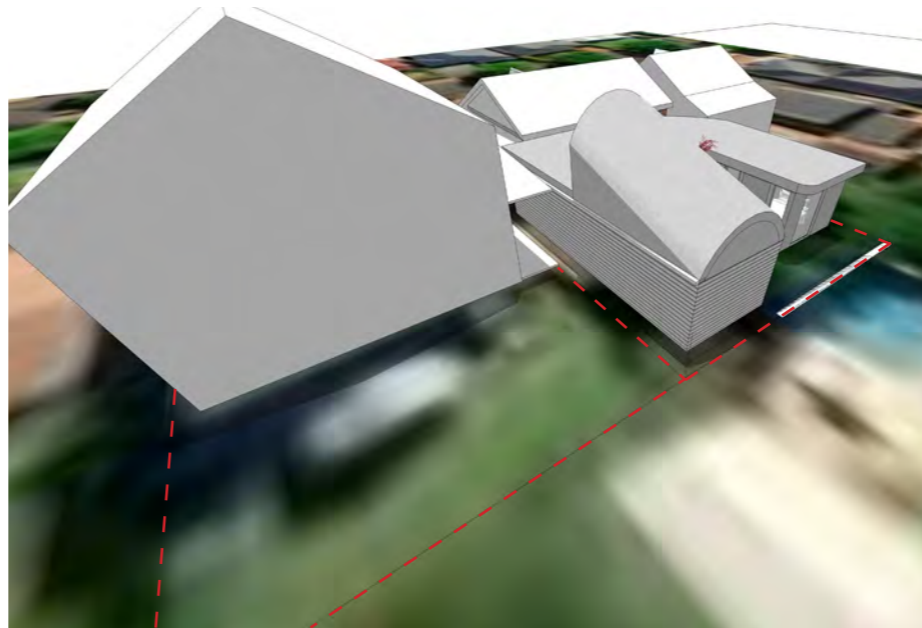
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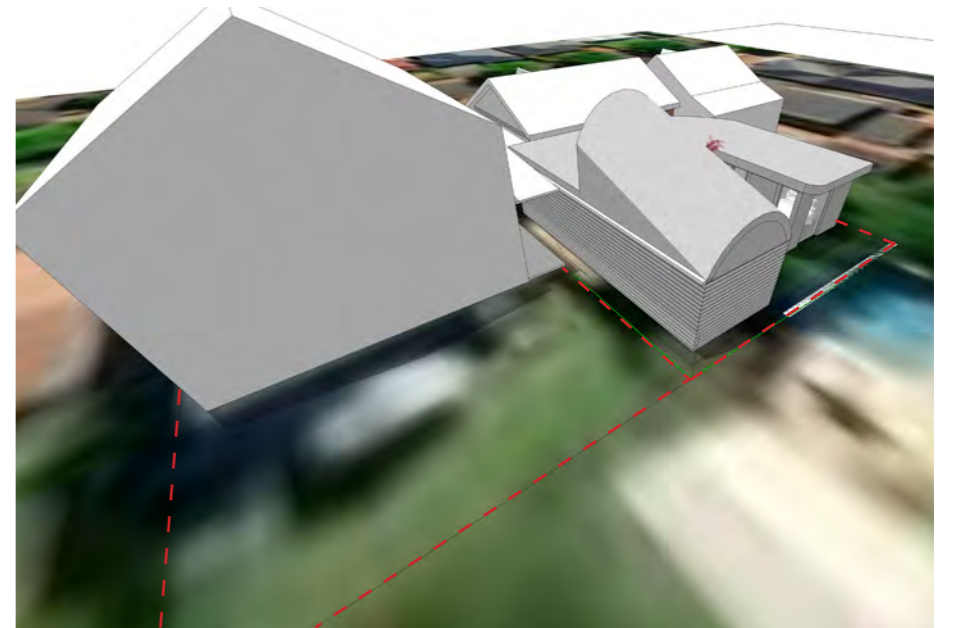
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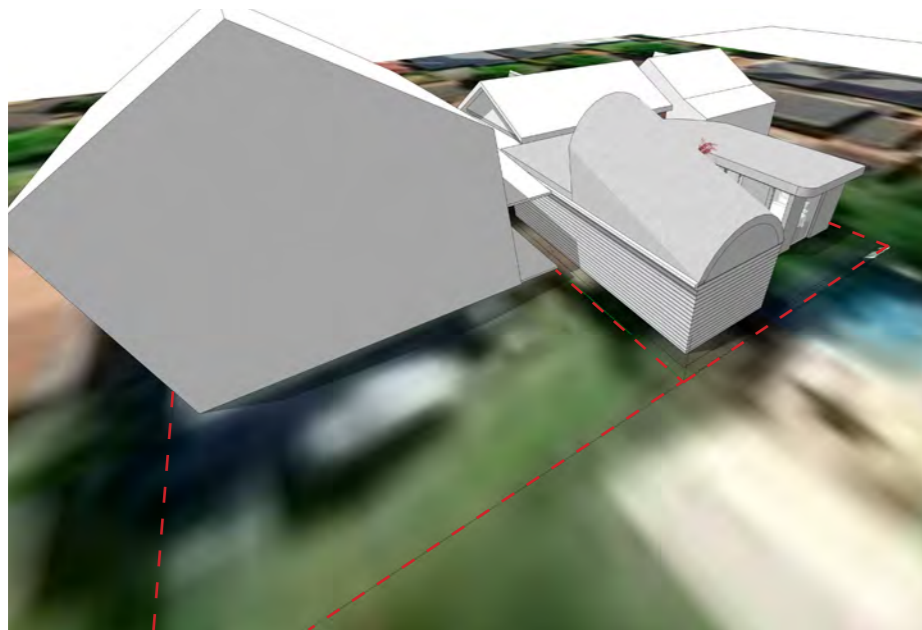
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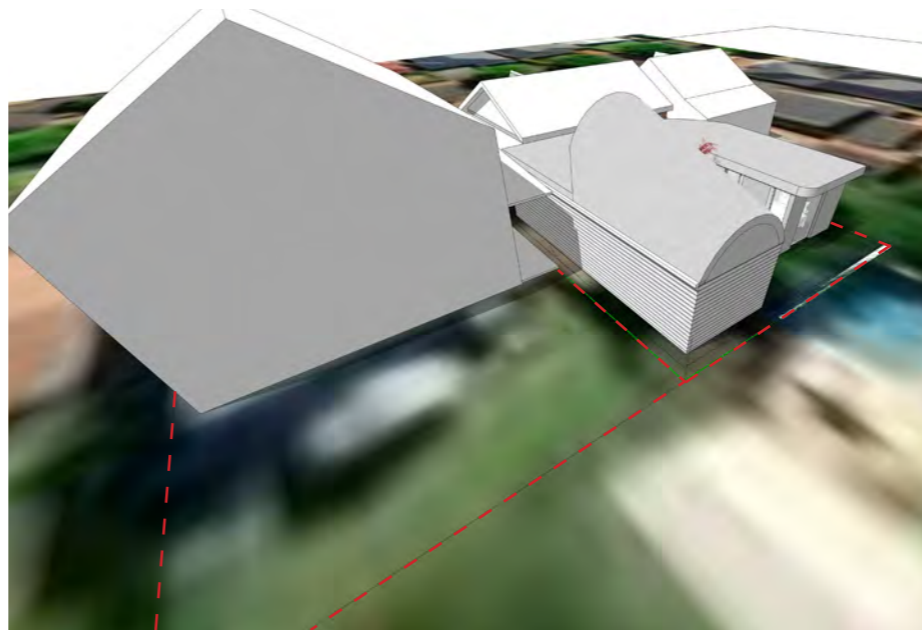
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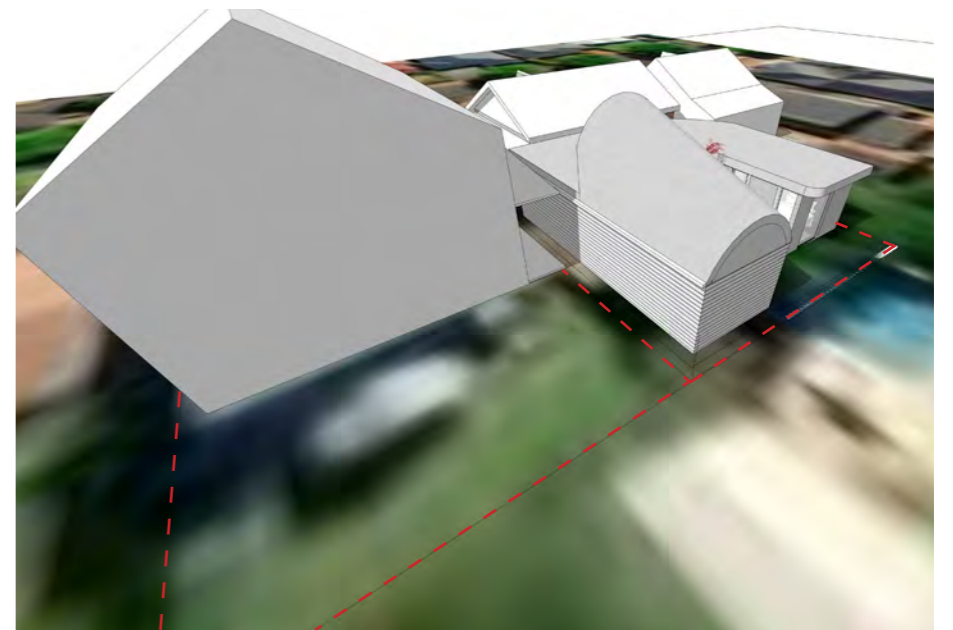
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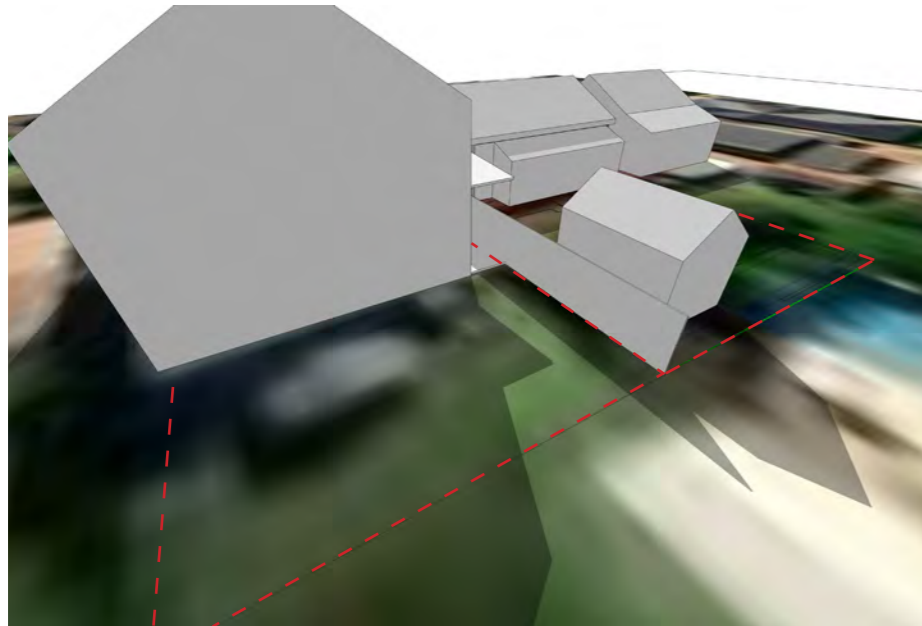
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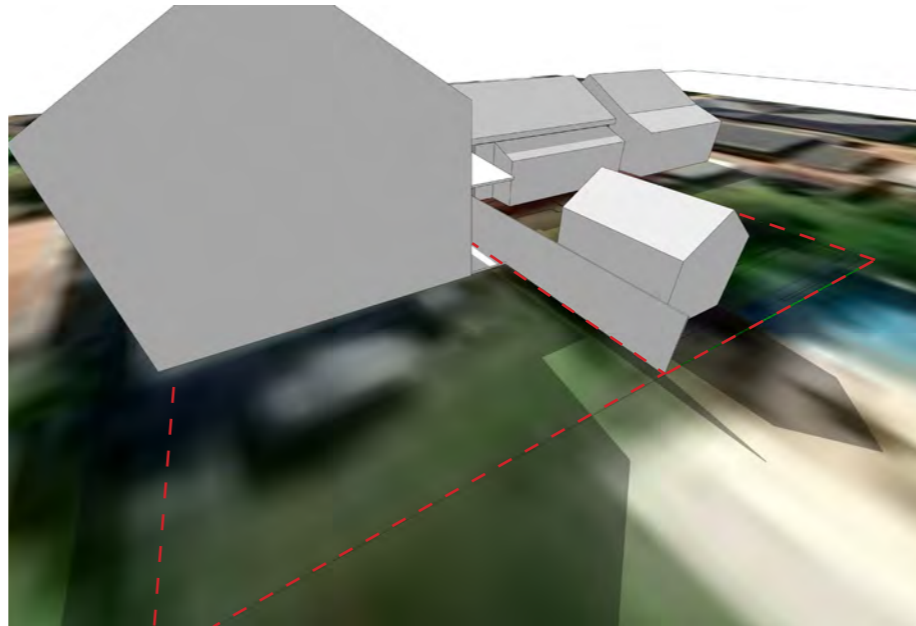
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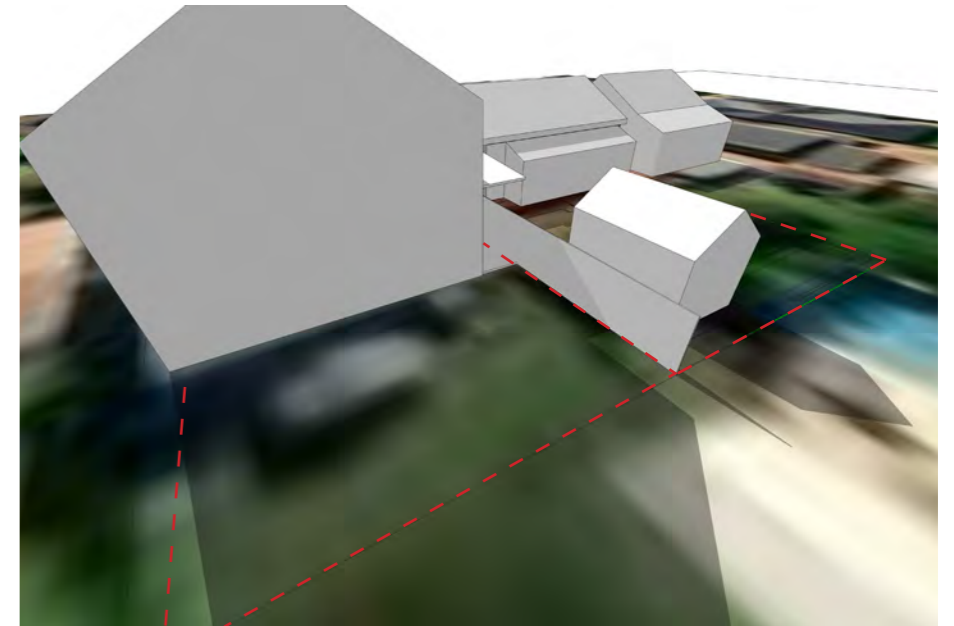
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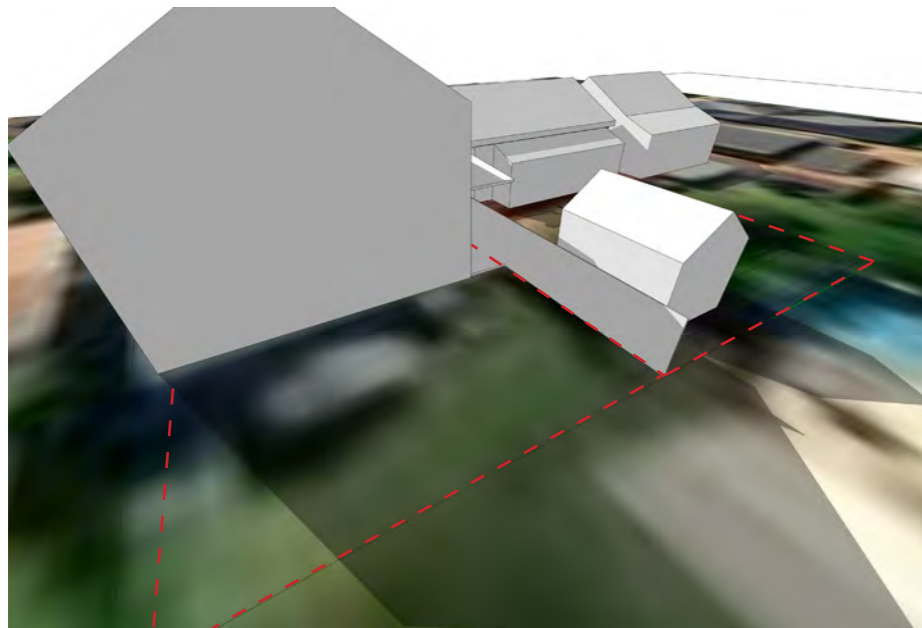
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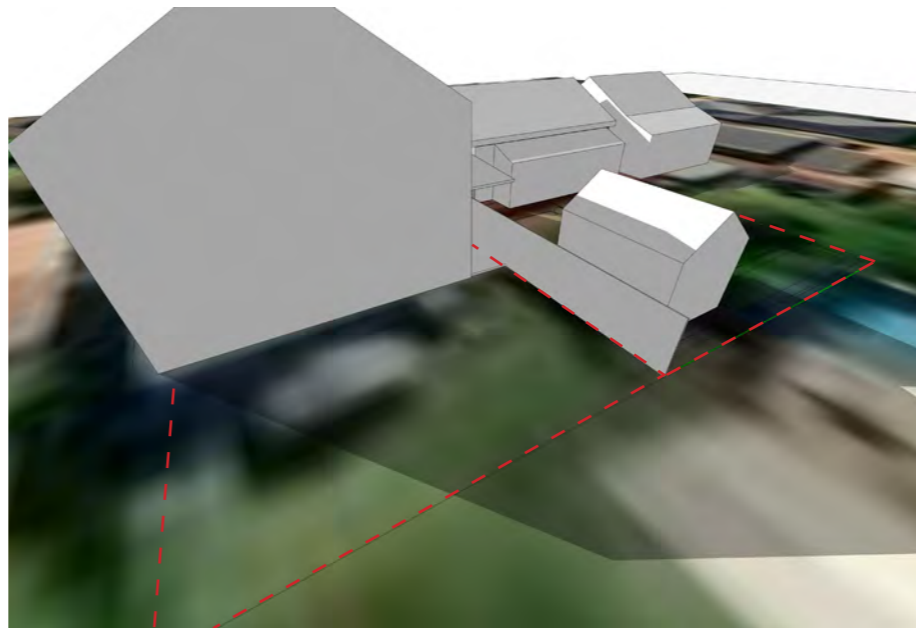
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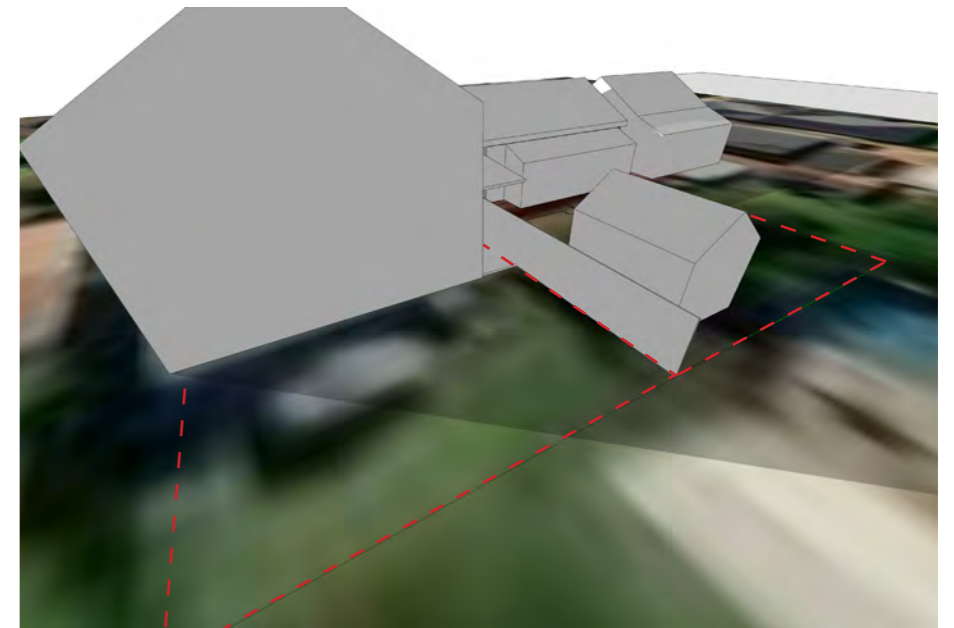
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**ITEM 5****DEVELOPMENT APPLICATION – 090/890/2020/C2 – 177 WATTLE STREET,  
MALVERN SA 5061 (UNLEY PARK)**

|                                                |                                                                                                     |
|------------------------------------------------|-----------------------------------------------------------------------------------------------------|
| <b>DEVELOPMENT APPLICATION NUMBER:</b>         | 090/890/2020/C2                                                                                     |
| <b>ADDRESS:</b>                                | 177 Wattle Street, Malvern SA 5061                                                                  |
| <b>DATE OF MEETING:</b>                        | 20 <sup>th</sup> April                                                                              |
| <b>AUTHOR:</b>                                 | Brendan Fewster                                                                                     |
| <b>DEVELOPMENT PROPOSAL:</b>                   | Remove existing outbuilding and construct habitable building with mezzanine and carport to boundary |
| <b>HERITAGE VALUE:</b>                         | Contributory                                                                                        |
| <b>DEVELOPMENT PLAN:</b>                       | 19 December 2017                                                                                    |
| <b>ZONE:</b>                                   | Residential Historic Conservation Zone<br>Policy Area 6 - Spacious Unley and Malvern Trimmer Estate |
| <b>OWNER:</b>                                  | G I Young and E Heywood-Smith                                                                       |
| <b>APPLICATION TYPE:</b>                       | Merit                                                                                               |
| <b>PUBLIC NOTIFICATION:</b>                    | Category 2                                                                                          |
| <b>REPRESENTATIONS RECEIVED:</b>               | Yes – Three (3) Oppose                                                                              |
| <b>CAP'S CONSIDERATION IS REQUIRED DUE TO:</b> | Unresolved representations                                                                          |
| <b>RECOMMENDATION:</b>                         | Approval                                                                                            |

**1. PLANNING BACKGROUND**

No relevant Planning Background.

**2. DESCRIPTION OF PROPOSAL**

The applicant proposes the following development at 177 Wattle Street, Malvern;

- Demolition of existing outbuilding;
- Construction of a habitable building (studio) with mezzanine level; and
- Construction of a carport to the side boundary.

**3. SITE DESCRIPTION**

The subject site is located on the southern side of Wattle Street, between Cambridge Terrace and Duthy Street. The site is regular on shape, having a frontage to Wattle Street of 15.24m, a depth of 45.72m and an overall site area of 696.7m<sup>2</sup>.

The site is currently occupied by a single storey dwelling (Villa), freestanding outbuilding located in the south-eastern corner of the land and high front fencing.

Existing vehicle access is gained via a Wattle Street crossover which is located adjacent the eastern boundary. No change to the crossover is required. A mature street tree is located centrally to the subject land.

No Regulated trees have been identified on the subject land or adjacent the proposed development.

#### 4. LOCALITY PLAN



#### 5. LOCALITY DESCRIPTION

The predominant land use within the locality is residential. A non-residential land use is located diagonally opposite the subject site.

The original settlement pattern is largely intact accommodating predominantly single storey, detached dwellings.

The predominant architectural style includes symmetrical and asymmetrical villas of Victorian and Turn-of-the-Century era.

## **6. STATUTORY REFERRALS**

No statutory referrals required.

## **7. NON-STATUTORY (INTERNAL) REFERRALS**

The subject land is identified as being flood affected, as such the application was referred to Council's Asset Management.

The following advice was provided to the applicant:

- *The existing flood mapping showed the rear of the property having a flood level up to 100mm. However, Council's latest flood mapping (not yet updated on internal map software) indicates the property is no longer inundated and stormwater flows are shown to be contained within Wattle St, this is based on the Brownhill Keswick Creek Upgrades being completed and all water contained within the creek (which is some time away still).*
- *Based on the above, we believe having an FFL 100mm above the natural ground level (not 400mm) would be a viable option, based on our historical flood mapping and also should any localised backyard flooding occurring in the future.*

The proposed finished floor level is 51.65 (150mm above the natural ground level). The issues raised by Council's Asset Management have been adequately addressed.

## **8. PUBLIC NOTIFICATION**

Category 2 notification was undertaken in accordance with Table Un/8 of the Unley Development Plan. During the ten (10) business day notification period three representations were received. A summary of the matters raised and the applicant's response is provided below.

| <b>ISSUES RAISED</b>                                                                                                                                                   | <b>APPLICANTS RESPONSE</b>                                                                                                                                                                                                                            |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Appearance concerns: <ul style="list-style-type: none"><li>- The structure is too high and imposing; and</li><li>- Not in keeping with character of the area</li></ul> | <ul style="list-style-type: none"><li>• The roof is lower than the main dwelling;</li><li>• The roof height has been kept to a minimum; and</li><li>• The roof will be lower than most dwellings in the surrounding area</li></ul>                    |
| Privacy and overlooking concerns with regards to the mezzanine windows                                                                                                 | <ul style="list-style-type: none"><li>• The window sill for the mezzanine is 2.0m above the floor level; and</li><li>• Skylights are more than 1.7m above the floor level and are on an angle</li></ul>                                               |
| Overshadowing concerns                                                                                                                                                 | <ul style="list-style-type: none"><li>• The building is located in the south-eastern corner therefore casting minimal shadow;</li><li>• The building is setback 2.2m from the rear (south) boundary and 1.0m from the eastern side boundary</li></ul> |

(\* denotes non-valid planning considerations)

## 9. DEVELOPMENT DATA

| Site Characteristics                     | Habitable Building         | Development Plan Provision                                    |
|------------------------------------------|----------------------------|---------------------------------------------------------------|
| <b>Floor Area</b>                        |                            |                                                               |
| Ground Floor                             | 47.6m <sup>2</sup>         |                                                               |
| Upper Floor                              | 12m <sup>2</sup>           |                                                               |
| <b>Site Coverage</b>                     |                            |                                                               |
| Roofed Buildings                         | 47%                        | <input type="checkbox"/> 50% of site area                     |
| Total Impervious Areas                   | 65% approx.                | <input type="checkbox"/> 70% of site <input type="checkbox"/> |
| <b>Total Building Height</b>             |                            |                                                               |
| Wall height                              | 4.1m                       |                                                               |
| Roof pitch                               | 6.5m (39 degree pitch)     |                                                               |
| <b>Setbacks</b>                          |                            |                                                               |
| Front boundary (north)                   | Rear of dwelling           | N/A                                                           |
| Side boundary (west)                     | 8.3m                       | 600mm                                                         |
| Side boundary (east)                     | 1m                         | 600mm                                                         |
| Rear boundary (south)                    | 2.2m                       | 600mm                                                         |
| <b>Private Open Space</b>                |                            |                                                               |
| Min Dimension                            | No change                  | <input type="checkbox"/> 4m minimum                           |
| Total Area                               | 220m <sup>2</sup> (32%)    | <input type="checkbox"/> 20%                                  |
| <b>Carport</b>                           |                            |                                                               |
| Post height                              | 2.4m                       | 3m                                                            |
| Total Height                             | 3.1m                       |                                                               |
| Length on boundary                       | 11.4m                      | 12m                                                           |
| <b>Outbuilding Colours and Materials</b> |                            |                                                               |
| Roof                                     | Galvanised corrugated iron |                                                               |
| Walls                                    | Masonry red brick          |                                                               |
| Windows                                  | Timber                     |                                                               |

(items in **BOLD** do not satisfy the relevant Principle of Development Control)

## 10. ASSESSMENT

### Zone Desired Character and Principles of Development Control

| <b>Residential Historic Conservation Zone</b>                                                                                                                                                                                                                                                                   |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <i>Objective 1: Conservation and enhancement of the heritage values and desired character described in the respective policy areas, exhibited in the pattern of settlement and streetscapes of largely intact original built fabric.</i>                                                                        |
| <i>Objective 2: A residential zone for dwellings primarily in street-fronting format, together with the use of existing buildings and sites used for non-residential purposes for smallscale local businesses and community facilities supporting an appealing, pleasant and convenient living environment.</i> |
| <i>Objective 3: Retention, conservation and enhancement of contributory items, and the complementary replacement or redevelopment of non-contributory buildings.</i>                                                                                                                                            |



*Objective 4: Sensitive adaptation of contributory items for alternate, small household, living where offering tangible benefit in the retention and refurbishment of such items.*

**Desired Character – Policy Area 6**

*The spacious streetscape character is founded on wide, tree-lined streets, grid street layout (with axial views focussed on the central oval feature in ‘New Parkside’) and generous front gardens. Intrinsic to the area is an extensive, intact collection of contributory items including distinctive Victorian and Turn-of-the-Century villas (asymmetrical and symmetrical), double-fronted cottages and limited complementary, Inter-war era, styles. More affluent, original owners developed some larger, amalgamated allotments in the southern areas establishing grander residences and gardens.*

*Development will:*

- a) *conserve contributory items, in particular symmetrical and asymmetrical villas of Victorian and Turn-of-the-Century era and double-fronted cottages; and*
- b) *be of a street-fronting dwelling format, primarily detached dwellings; and*
- c) *maintain or enhance the predominant streetscapes and regular road and allotment patterns with:*
  - i. *dwelling sites typically of 15 metres in street frontages and with site areas of 750 square metres; and*
  - ii. *front set backs of some 7 metres; and*
  - iii. *side setbacks of between 1 metre and 3 metres so as to maintain a total spacing between neighbouring dwelling walls, of some 4 metres; and*
- d) *maintain and respect important features of architectural styles of contributory items having typically:*
  - i. *building wall heights in the order of 3.6 metres; and*
  - ii. *total roof heights in the order of 5.6 metres or 6.5 metres; and*
  - iii. *roof pitches in the order of 27 degrees and 35 degrees.*

**Assessment**

The Desired Character for the Zone places emphasis on maintaining the predominant streetscape and regular road patterns. Objective 3 and the Desired Character identify the need for the retention, conservation and enhancement of Contributory items as these buildings make a positive contribution to the heritage value of the area. The proposed development will not alter the existing dwelling, which is a Contributory item. The development includes a new carport attached to the side of the dwelling. The carport is designed to complement the form and appearance of the dwelling and is appropriately located behind the main front wall of dwelling so as not to diminish the street presence of the Contributory item.

The proposed studio building is single storey in scale and is located in the rear corner of the site. The modest scale (in comparison to what the Development Plan nominates) and significant separation to the street will ensure the building is not be readily visible from within the streetscape.

| Relevant Zone Principles of Development Control | Assessment |
|-------------------------------------------------|------------|
|-------------------------------------------------|------------|

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>PDC 2</b><br/> <i>Development should comprise:</i><br/> a) <i>alterations and/or additions to an existing dwelling; and</i><br/> b) <i>ancillary domestic-scaled structures and outbuildings</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | <p>The proposed studio and carport are ancillary and subordinate to the existing dwelling and therefore would not change the existing residential use of the land.</p> <p>PDC 2 of the Residential Historic (Conservation) Zone envisages dwelling alterations, outbuildings and other domestic structures. The proposed studio is similar to an outbuilding however it will be used for occupants of the dwelling as a habitable room (i.e. games room and study). Both the studio and carport are domestic structures that are desirable forms of development within the zone.</p>                                                            |
| <p><b>PDC 3</b><br/> <i>Development should retain and enhance a contributory item by:</i><br/> (d) <i>altering or adding to the item and carrying out works to its site only in a manner which maintains or enhances its contribution to the desired character, and responds positively to the characteristic elements and streetscape context of its locality, in terms of the:</i><br/> (i) <i>rhythm of buildings and open spaces (front and side setbacks) of building sites and gaps between neighbouring building sites; and</i><br/> (ii) <i>building scale and forms (wall heights and proportions, and roof height, volumes and forms); and</i><br/> (iii) <i>open fencing and garden character; and</i><br/> (iv) <i>recessive or low key nature of vehicle garaging and the associated driveway.</i></p> | <p>The proposed studio and carport would not affect the street appearance of the Contributory item.</p> <p>The proposed carport is to be attached to the eastern side of the dwelling and would have a recessive appearance as it is located 3.0 metres behind the main front wall of the dwelling/verandah and 1.0 metre behind the front entrance.</p> <p>The proposed studio is setback approximately 8.5 metres from the rear of the Contributory item and at least 30 metres from the street frontage. The separation to the dwelling and the street would ensure the streetscape contribution of the Contributory item is maintained.</p> |
| <p><b>PDC 9</b><br/> <i>Development should present a single storey built scale to the streetscape. Any second storey building elements should be integrated sympathetically into the dwelling design, and be either:</i><br/> (a) <i>incorporated primarily into the roof or comprise an extension of the primary single storey roof element without imposing excessive roof volume or bulk, or massing intruding on neighbouring spacious conditions nor increasing the evident wall heights as viewed from the street; or</i></p>                                                                                                                                                                                                                                                                                 | <p>The representors have raised concerns with the height and scale of the studio building.</p> <p>PDC 9 is seeking predominantly single storey buildings, with second storey elements to be incorporated into the roof to minimise the volume and bulk of the building.</p> <p>The proposed studio building has a relatively small footprint of 47.6m<sup>2</sup> (to what the Development Plan nominates), and while the wall height of 4.1 metres would be taller than a typical domestic</p>                                                                                                                                                 |

|                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><i>(b) set well behind the primary street façade of the dwelling so as to be inconspicuous in the streetscape, without being of a bulk or mass that intrudes on neighbouring properties.</i></p> | <p>outbuilding, the wall heights would match the existing dwelling and the building would present as single storey with the mezzanine level set within the roof space.</p> <p>The building is also setback from side and rear boundaries so as to sufficiently maintain the visual and spatial amenity of neighbouring properties.</p> <p>The structure does not include windows with direct views of neighbouring properties, maintaining visual privacy.</p> <p>Accordingly, the design, siting and overall size of the proposed studio building is considered to satisfy PDC 9.</p> |
| <p><b>PDC 13</b><br/><i>A carport or garage should form a relatively minor streetscape element.</i></p>                                                                                             | <p>The carport is single width, is setback 3.0 metres behind the front wall of the dwelling and will match the height and form of the front verandah. The structure will therefore form a discrete and well-articulated building element. PDC 13 has been satisfied.</p>                                                                                                                                                                                                                                                                                                               |

**Relevant Council Wide Objectives and Principles of Development Control**

An assessment has been undertaken against the following Council Wide Provisions:

| <b>City-wide Objectives and Principles of Development Control</b> |                   |                                                                                                                                                                                                                                               |
|-------------------------------------------------------------------|-------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Design and Appearance</b>                                      | <i>Objectives</i> | 1, 2                                                                                                                                                                                                                                          |
|                                                                   | <i>PDCs</i>       | 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23                                                                                                                                                             |
| <b>Form of Development</b>                                        | <i>Objectives</i> | 1, 2, 3, 4, 5, 6, 7                                                                                                                                                                                                                           |
|                                                                   | <i>PDCs</i>       | 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13                                                                                                                                                                                                     |
| <b>Hazards</b>                                                    | <i>Objectives</i> | 1, 2, 3, 4, 5, 6                                                                                                                                                                                                                              |
|                                                                   | <i>PDCs</i>       | 1, 2, 3, 4, 5, 6, 7, 8, 9, 10                                                                                                                                                                                                                 |
| <b>Public Notification</b>                                        | <i>PDCs</i>       | 1                                                                                                                                                                                                                                             |
| <b>Residential Development</b>                                    | <i>Objectives</i> | 1, 2, 3, 4, 5                                                                                                                                                                                                                                 |
|                                                                   | <i>PDCs</i>       | 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62 |

The following table includes the Council-wide provisions that warrant further discussion in regards to the proposed development:

| Relevant Council Wide Provisions                                                                          | Assessment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|-----------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Residential Development</b>                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <p><b>PDC 15</b><br/> <i>Garages, carports, verandahs, pergolas, outbuildings and like structures</i></p> | <p>PDC 15 seeks to ensure that outbuildings and like structures (i.e. a studio) should be designed and sited in a manner that is ancillary to the dwelling and to not visually dominate the locality.</p> <p>This principle recommends a minimum setback of 600mm from boundaries, or on the boundary in some circumstances, and a minimum setback of 1.8 metres from a habitable room window of an adjacent dwelling. The proposal satisfies these setback requirements.</p>                                                   |
| <p><b>PDC 30</b><br/> <i>Outbuildings and like structures</i></p>                                         | <p>PDC 30 prescribes a maximum wall height of 3 metres and roof height of 5 metres for outbuildings and also recommends a maximum floor area of 80m<sup>2</sup> or 10 percent of the site (68m<sup>2</sup>). While the studio will have a wall height of 4.1 metres, the height of the building is not unreasonable given the boundary offsets, the relatively small building footprint and the use of red brick cladding.</p> <p>The proposed floor area of 47.6m<sup>2</sup> is well within the maximum size requirement.</p> |
| <p><b>PDC 38 &amp; 39</b><br/> <i>Overlooking / Privacy</i></p>                                           | <p>The representors have raised concerns with the potential for overlooking from the mezzanine level. As there is only one window to the mezzanine that has a sill height of 2.0 metres above the floor level, the proposal would not have any privacy impacts.</p> <p>Similarly, there would be no direct views of neighbouring properties from the skylights as they are angled toward the sky.</p>                                                                                                                           |
| <p><b>PDC 41</b><br/> <i>Overshadowing and Natural Light</i></p>                                          | <p>Given the north to south orientation of the subject land and the modest scale of both the studio and carport, the shadow cast by the development would have a negligible impact upon the adjoining properties on either side or to the rear.</p> <p>While the rear yard of the southern neighbour at 51 Cambridge Terrace would be most-affected, this property will continue to receive adequate sunlight in accordance with Council Wide PDC 41.</p>                                                                       |

## 11. CONCLUSION

In summary, the application is not considered to be seriously at variance with the Development Plan and is considered to satisfy the provisions of the Development Plan for the following reasons:

- The proposed studio building and carport are ancillary and subordinate to the existing dwelling and therefore would not change the existing residential use of the land;
- The proposal is an orderly and desirable form of development within the Residential Historic (Conservation) Zone, which envisages outbuildings and other domestic structures;
- The proposed studio building is relatively small-scale and well removed from the existing Contributory item and the street frontage;
- The design and siting of the proposed development would not adversely impact upon the amenity of neighbouring properties, in terms of visual impact and access to natural light; and
- The size, scale and siting of the proposed studio and carport is consistent with the existing development pattern in the locality.

The application is therefore recommended for Development Plan CONSENT.

## **12. RECOMMENDATION**

MOVED:

SECONDED:

That Development Application 090/890/2020/C2 at 177 Wattle Street, Malvern SA 5061 to remove existing outbuilding and construct habitable building with mezzanine and carport to boundary is not seriously at variance with the provisions of the City of Unley Development Plan and should be GRANTED Planning Consent subject to the following conditions:

### **DEVELOPMENT PLAN CONSENT DETAILS OF DECISION:**

1. The Development herein approved shall be undertaken in accordance with all plans, drawings, specifications and other documents submitted to Council and forming part of the relevant Development Application except where varied by conditions set out below (if any) and the development shall be undertaken to the satisfaction of Council.

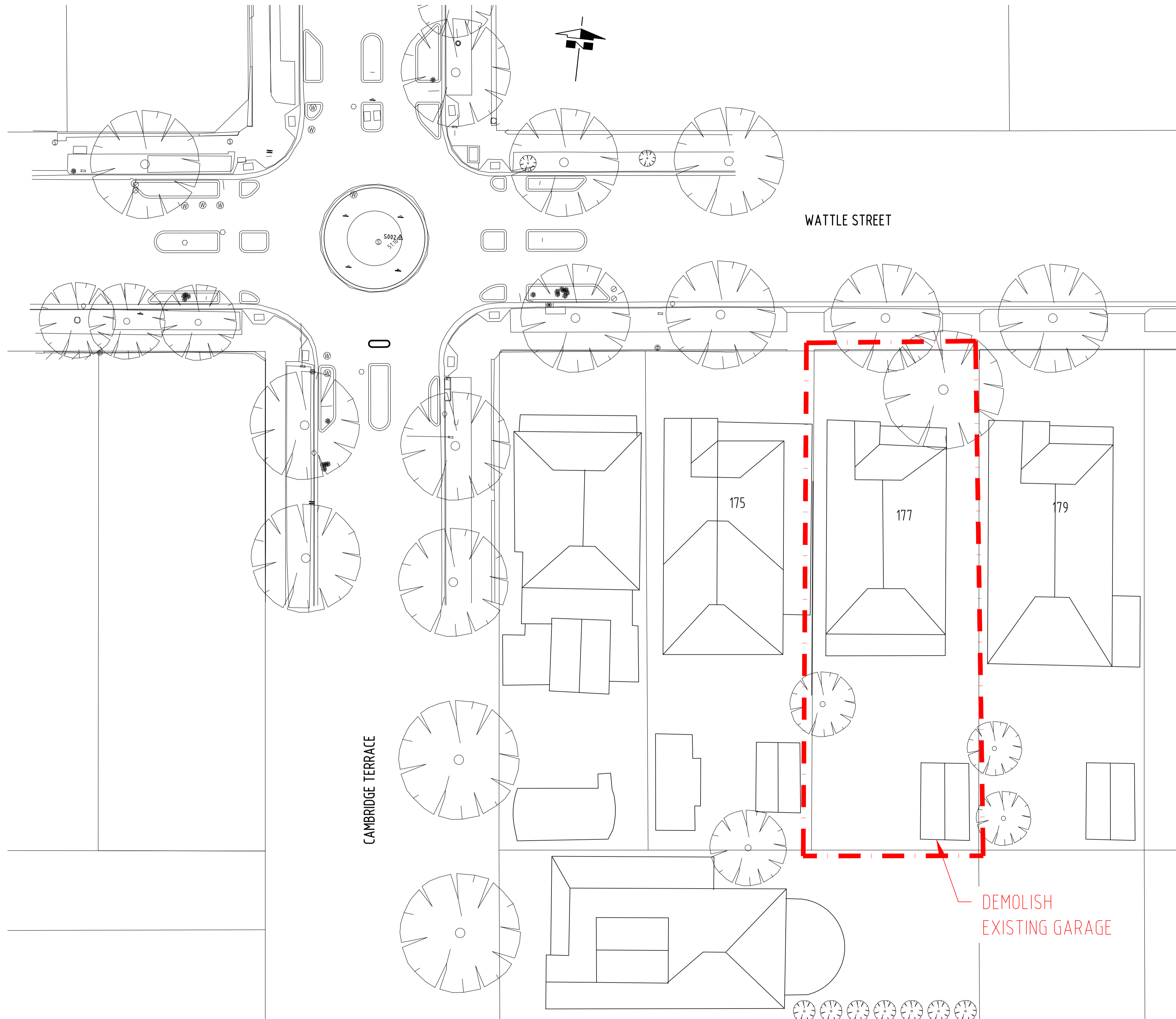
2. All stormwater from the building and site shall be disposed of so as to not adversely affect any properties adjoining the site or the stability of any building on the site. Stormwater shall not be disposed of over a crossing place.

**NOTES PERTAINING TO DEVELOPMENT PLAN CONSENT:**

13. It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
14. The applicant is reminded of the requirements of the Fences Act 1975. Should the proposed works require the removal, alteration or repair of an existing boundary fence or the erection of a new boundary fence, a 'Notice of Intention' must be served to adjoining owners. Please contact the Legal Services Commission for further advice on 1300 366 424 or refer to their web site at [www.lsc.sa.gov.au](http://www.lsc.sa.gov.au).

| <b>List of Attachments</b> |                             | <b>Supplied By:</b> |
|----------------------------|-----------------------------|---------------------|
| <b>A</b>                   | Application Documents       | Applicant           |
| <b>B</b>                   | Representations             | Administration      |
| <b>C</b>                   | Response to Representations | Applicant           |
| <b>D</b>                   | Supporting Documents        | Applicant           |

## ATTACHMENT A



WATTLE STREET

CAMBRIDGE TERRACE

175

177

179

DEMOLISH  
EXISTING GARAGE

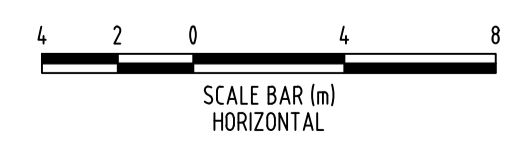
**DRAWING INDEX**

|                      |                                                     |
|----------------------|-----------------------------------------------------|
| GIY2020-CC-0001-0001 | SITE LOCALITY AND DEMOLITION PLAN                   |
| GIY2020-CC-0001-0002 | PROPOSED SITE PLAN                                  |
| GIY2020-CC-0001-0003 | EXISTING STREETScape AND BUILDING ELEVATION         |
| GIY2020-CC-0001-0004 | PROPOSED STREETScape AND BUILDING ELEVATION         |
| GIY2020-CC-0001-0005 | PROPOSED OUTBUILDING FLOOR PLAN                     |
| GIY2020-CC-0001-0006 | PROPOSED OUTBUILDING FLOOR AREA CALCULATIONS        |
| GIY2020-CC-0001-0007 | PROPOSED OUTBUILDING SECTION VIEW & DESIGN ELEMENTS |
| GIY2020-CC-0001-0008 | SITE STORMWATER MANAGEMENT PLAN                     |
| GIY2020-CC-0001-0009 | CARPORT SECTION - FRONT ELEVATION                   |
| GIY2020-CC-0001-0010 | CARPORT SECTION - SIDE ELEVATION                    |

**AMENDED PLAN / DOCUMENT**  
**DATE: 4/02/2021**

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When sheet printed full size, the scale bar is 100mm.  
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|------|------------|-----------------------------------|-------|------|------|
| A    | 19.11.2020 | ISSUED FOR DEVELOPMENT CONSENT    | GY    | GY   | EH   |
| B    | 18.01.2021 | RE-ISSUED FOR DEVELOPMENT CONSENT | GY    | GY   | EH   |
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**YOUNGY**  
CONSULTANTS

|                                   |       |                |                |
|-----------------------------------|-------|----------------|----------------|
| <b>177 WATTLE STREET, MALVERN</b> |       |                |                |
| CARPORT, STUDIO ROOM AND WORKSHOP |       |                |                |
| SITE LOCALITY & DEMOLITION PLAN   |       |                |                |
| A1                                |       | DRAWING NUMBER |                |
| Design                            | Drawn | Job Number     | Sheet No. Rev. |
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42 CLIFTON STREET

51 CAMBRIDGE TERRACE

### KEY DESIGN ELEMENTS - SITE LOCATION :

#### NEW CARPORT

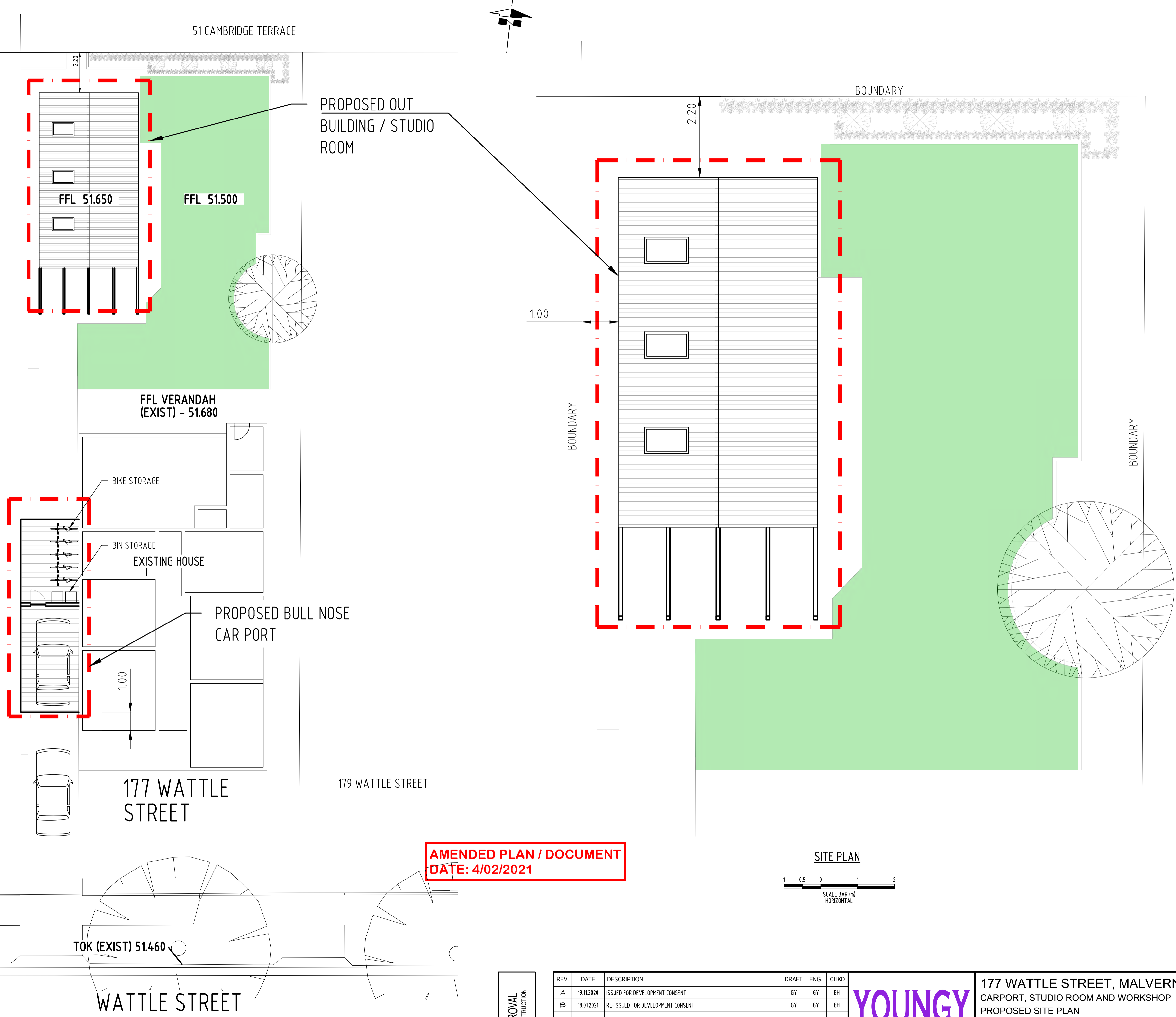
- LOCATED 1.0m BACK FROM MAIN DWELLING AND NEARING ADJACENT DWELLING
- PROVISION FOR 2 CAR PARKS
- CARPORT TO BE SEPERATE TO FRONT VERANDAH AS PER PRELIMINAR COUNCIL FEEDBACK (26THMAY 2020)

#### NEW STUDIO ROOM

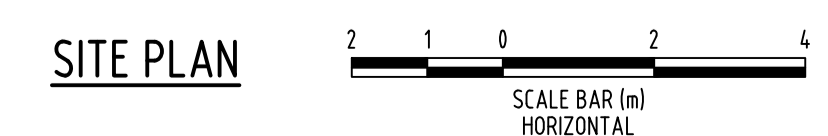
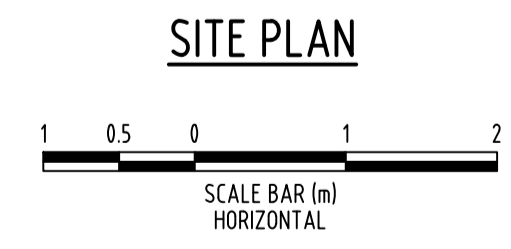
- BACK WALL LOCATED 1.6m BACK FROM BACK (SOUTH) BOUNDARY
- EAST WALL LOCATED 1.0m OFFSET FROM BOUNDARY
- EXISTING SHED TO BE DEMOLISHED - LIMITED INCREASE IN OUTBUILDING FOOTPRINT AREA

#### LEGEND:

- FFL (EXIST) FINISHED FLOOR LEVEL (EXISTING)
- FFL (PROP) FINISHED FLOOR LEVEL (PROPOSED)
- TOK (EXIST) TOP OF KERB LEVEL (EXISTING)



**AMENDED PLAN / DOCUMENT  
DATE: 4/02/2021**



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**YOUNGY  
CONSULTANTS**

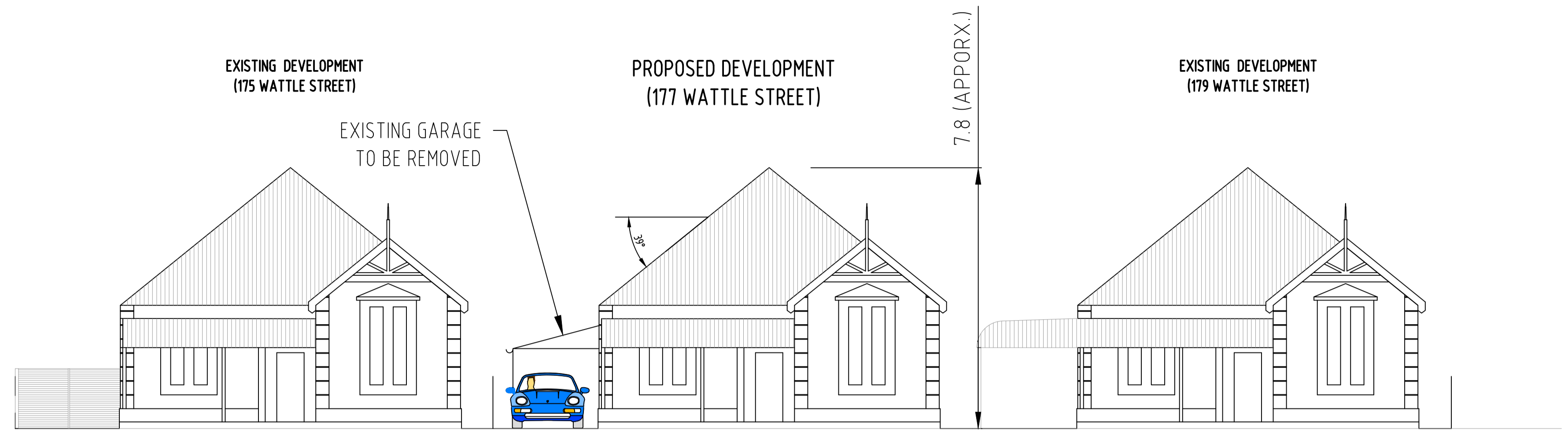
**177 WATTLE STREET, MALVERN  
CARPORT, STUDIO ROOM AND WORKSHOP  
PROPOSED SITE PLAN**

**A1** DRAWING NUMBER  
Job Number Sheet No. Rev.

Design Drawn **GIY-2020-DA-0001-0002** B

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Version: 4, Version Date: 04/02/2021



EXISTING BUILDING ELEVATION



EXISTING STREET VIEW ELEVATION

**AMENDED PLAN / DOCUMENT**  
**DATE: 4/02/2021**

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| A    | 19.11.2020 | ISSUED FOR DEVELOPMENT CONSENT    | GY    | GY   | EH   |
| B    | 18.01.2021 | RE-ISSUED FOR DEVELOPMENT CONSENT | GY    | GY   | EH   |
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**YOUNGY**  
 CONSULTANTS

|                                                                                                              |       |                       |        |
|--------------------------------------------------------------------------------------------------------------|-------|-----------------------|--------|
| 177 WATTLE STREET, MALVERN<br>CARPORT, STUDIO ROOM AND WORKSHOP<br>EXISTING STREETScape & BUILDING ELEVATION |       |                       |        |
| A1                                                                                                           |       | DRAWING NUMBER        |        |
| Design                                                                                                       | Drawn | GIY-2020-DA-0001-0003 | Rev. B |

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When sheet printed full size, the scale bar is 100mm.  
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**MATERIALS AND FINISHED OF ADJOINING DWELLING (175 WATTLE STREET):**

WALLS : SANDSTONE WITH BRICK WALLS (RENDERED CREAM)  
 ROOF : COLORBOND CORRUGATED IRON  
 WINDOWS: TIMBER PAINT FINISH

**MATERIALS AND FINISHED OF ADJOINING DWELLING (179 WATTLE STREET):**

WALLS : BLUESTONE WITH BRICK WALLS (RENDERED CREAM)  
 ROOF : COLORBOND CORRUGATED IRON  
 WINDOWS: TIMBER PAINT FINISH

**MATERIALS AND FINISHEDS - PROPOSED CARPORT**

**CARPORT**

STRUCTURE : OPEN BULLNOSE CAR PORT WITH TIMBER COLUMN AND FRAME  
 ROOF : GREEN COLORBOND IRON CONSISTANT WITH THE ADJACNET DWELLING  
 SUPPORT AND FRAME : GREEN CONSISTANT WITH THE ADJACNET FACIA

**KEY DESIGN ELEMENTS - COLOURS AND MATERIALS:**

**CARPORT**

- LOW KEY, SUBSERVIENT LESS DOMINANT
- RECESSIVE, SET BACK FROM MAIN FACADE 1m.
- WIDTH IS SIMILAR TO ADJACENT DWELLINGS
- BULLNOSE STYLE SIMILAR TO CAR PORTS IN SURROUNDING AREA
- HEIGHT AT SAME LEVEL AS ADJACENT BULLNOSE VERANDAH

**MATERIALS AND FINISHES - PROPOSED OUTBUILDING / STUDIO ROOM**

**STUDIO OUT BUILDING**

WALLS : MASONARY RED BRICK  
 ROOF : GALVANISED CORRUGATED IRON  
 WINDOWS: NATURAL TIMBER  
 TIMBER FACIA: HERITAGE GREEN

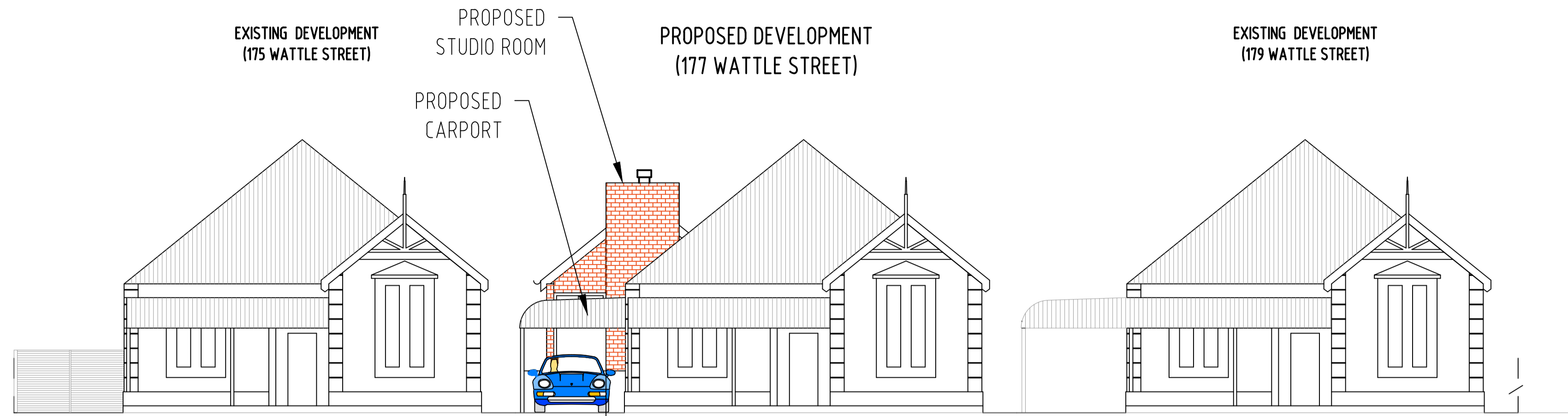


**RED BRICK**

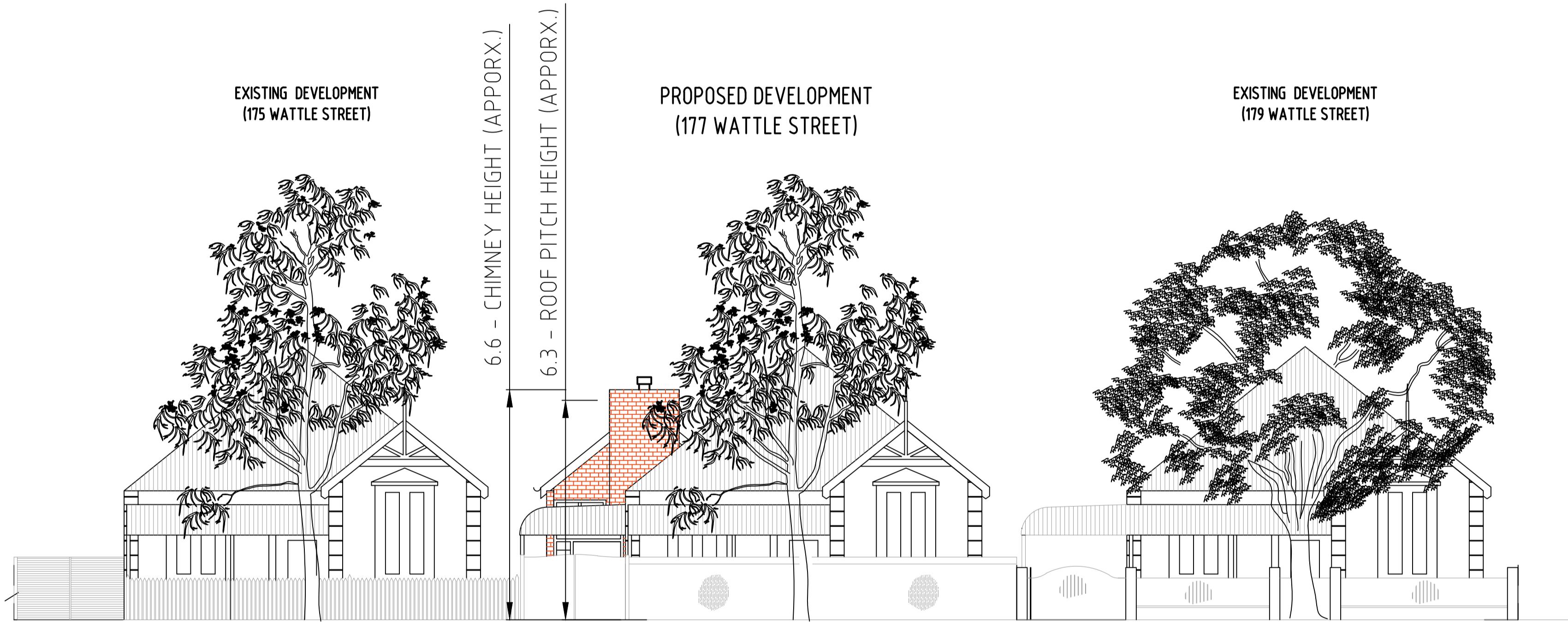
**KEY DESIGN ELEMENTS - COLOURS AND MATERIALS:**

**STUDIO OUT BUILDING**

- SCALE AND DIMENSIONS SYMPATHETIC TO SURROUNDING BUILDINGS BEING LOWER THAN ADJACENT ROOF HEIGHTS
- SITE LOCATION SYMPATHETIC TO ADJACENT DWELLINGS BEING OFFSET FROM BOUNDARY
- ROOF PITCH SIMILAR TO ADJACENT DWELLINGS
- DISCRETELY LOCATED ON SITE WITH LARGE SPACE REMAINING AREA FOR OPEN SPACE
- WINDOW LOUVRES INCORPORATED FOR PASSIVE COOLING AND AIR FLOW
- BARN STYLE OUTSIDE DOORS FOR PASSIVE COOLING ON WESTERN WALL
- WINDOW HEIGHT LOCATED SYMPATHETIC TO NEIGHBOUR OVERLOOKING PRINCIPLES
- FROSTED GLASS WINDOW FOR BATHROOM



**PROPOSED BUILDING ELEVATION**



**PROPOSED STREET VIEW ELEVATION**

**AMENDED PLAN / DOCUMENT  
 DATE: 4/02/2021**

**STYLE / VISION - LOCAL BUILDING**

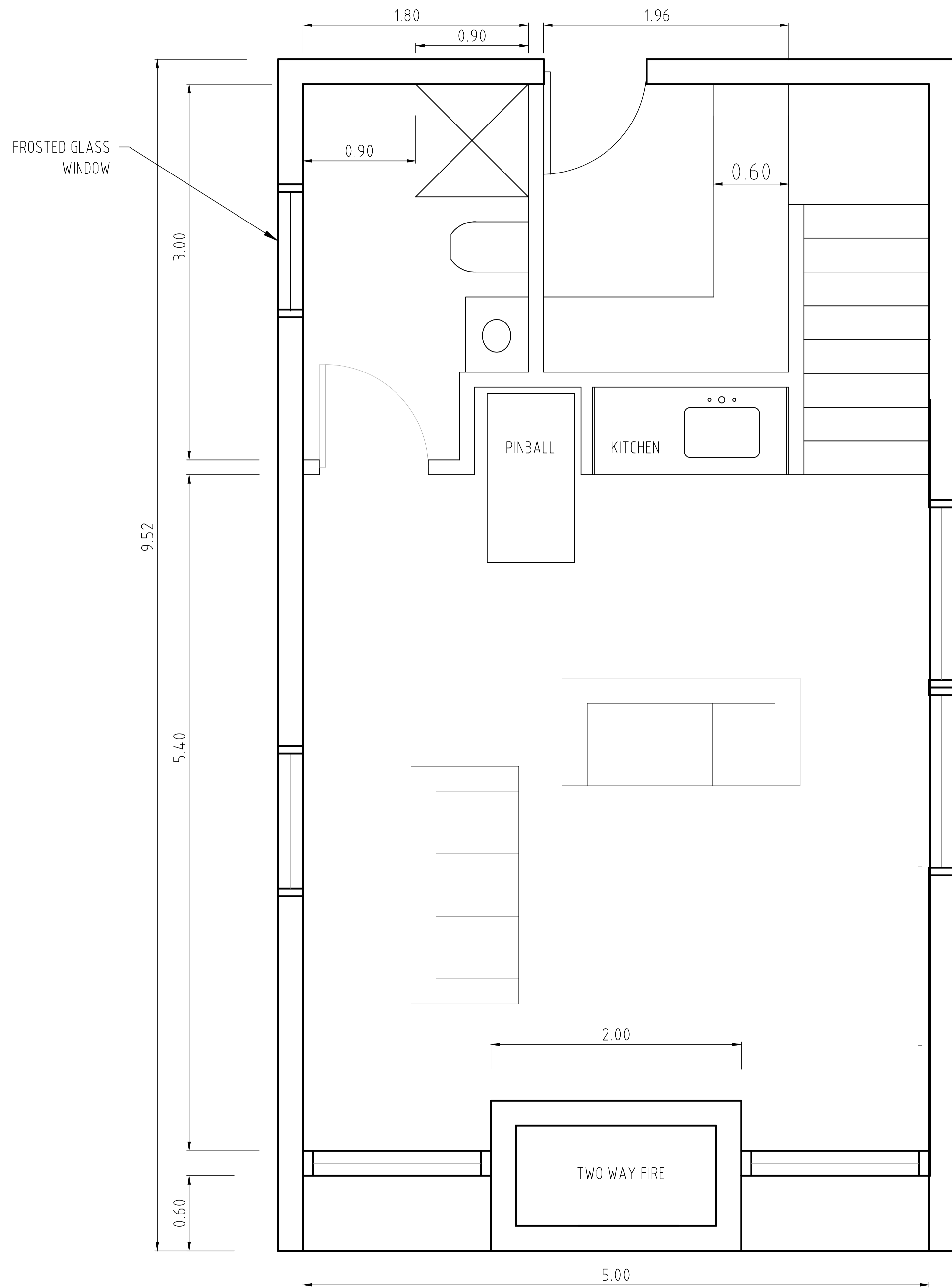
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| <b>177 WATTLE STREET, MALVERN</b>         |       |                |                |
| CARPORT, STUDIO ROOM AND WORKSHOP         |       |                |                |
| PROPOSED STREETScape & BUILDING ELEVATION |       |                |                |
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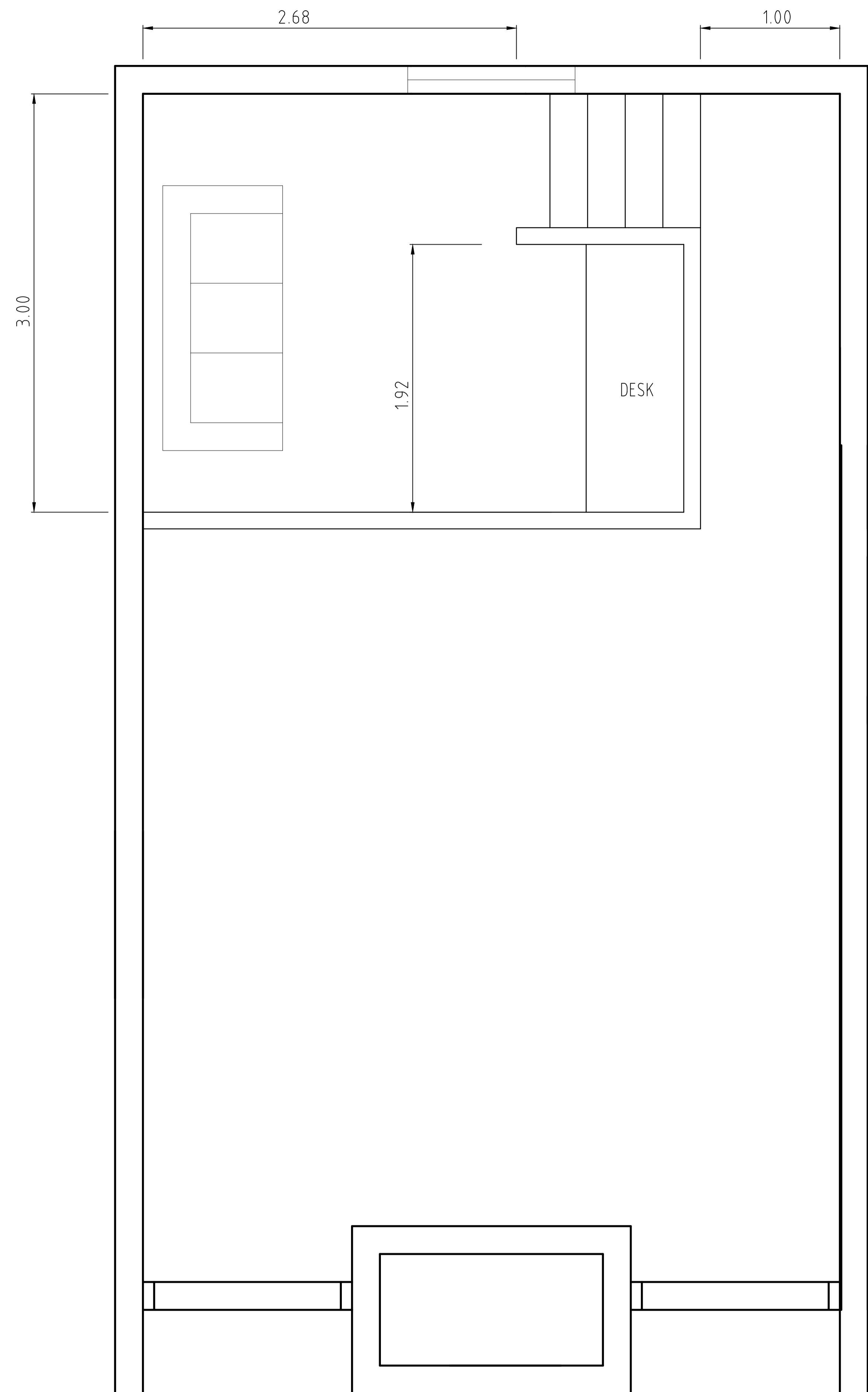
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GROUND FLOOR

**AMENDED PLAN / DOCUMENT**  
**DATE: 4/02/2021**



MEZZANINE FLOOR

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**YOUNGY**  
**CONSULTANTS**

177 WATTLE STREET, MALVERN  
 CARPORT, STUDIO ROOM AND WORKSHOP  
 PROPOSED OUT BUILDING  
 FLOOR PLAN

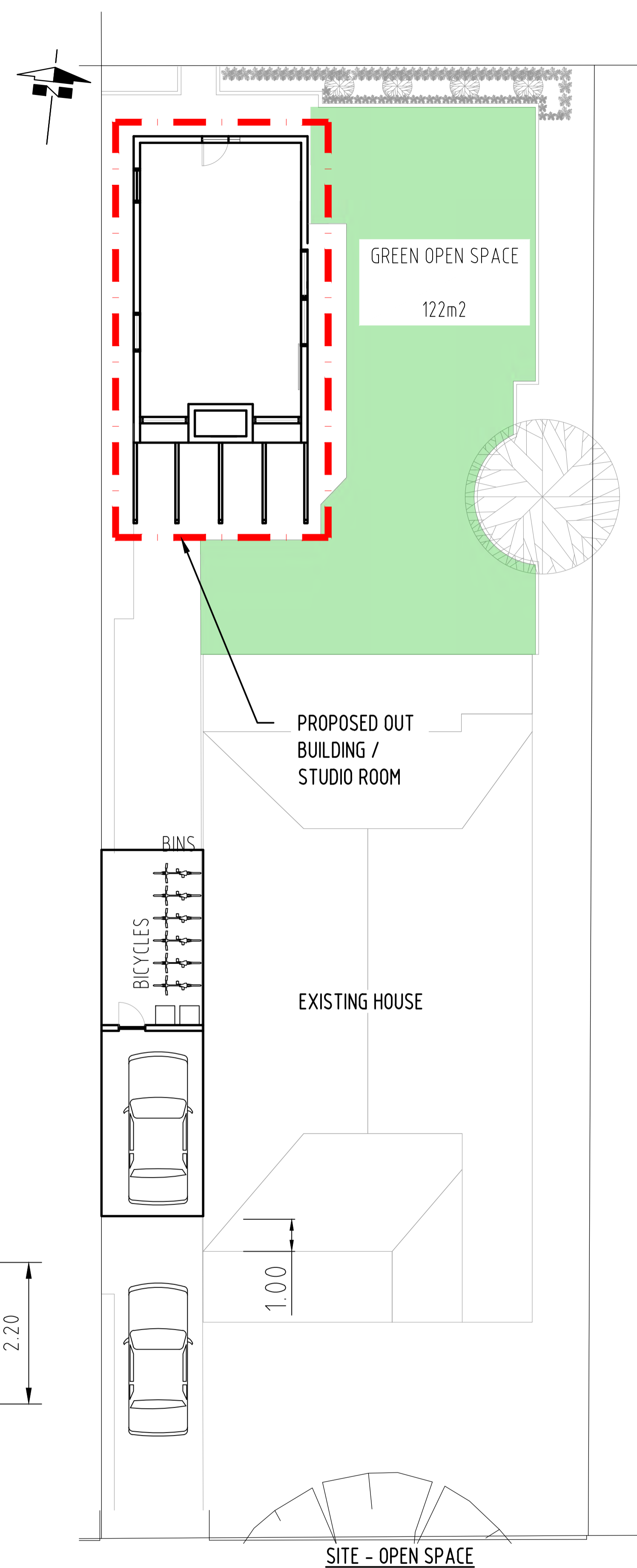
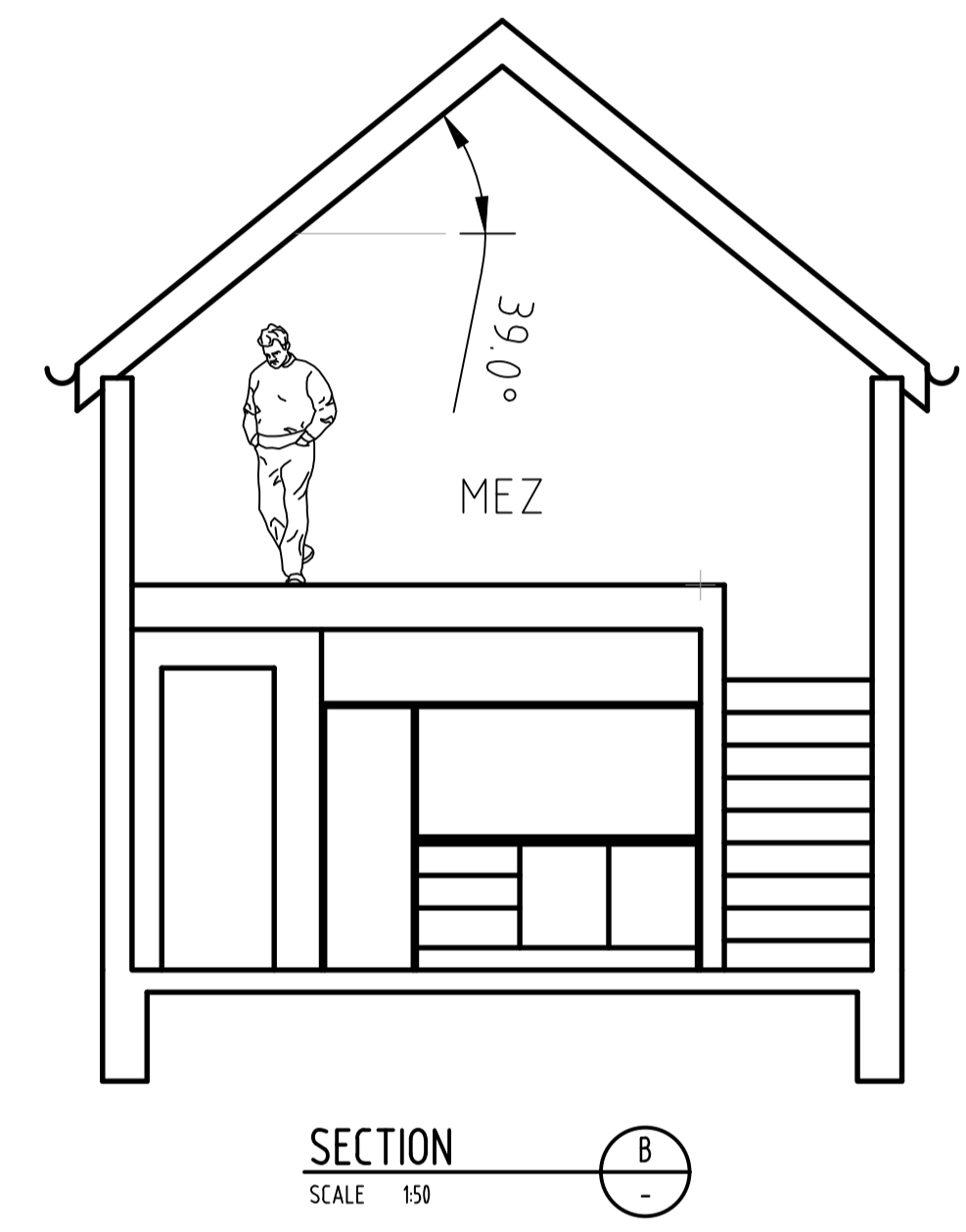
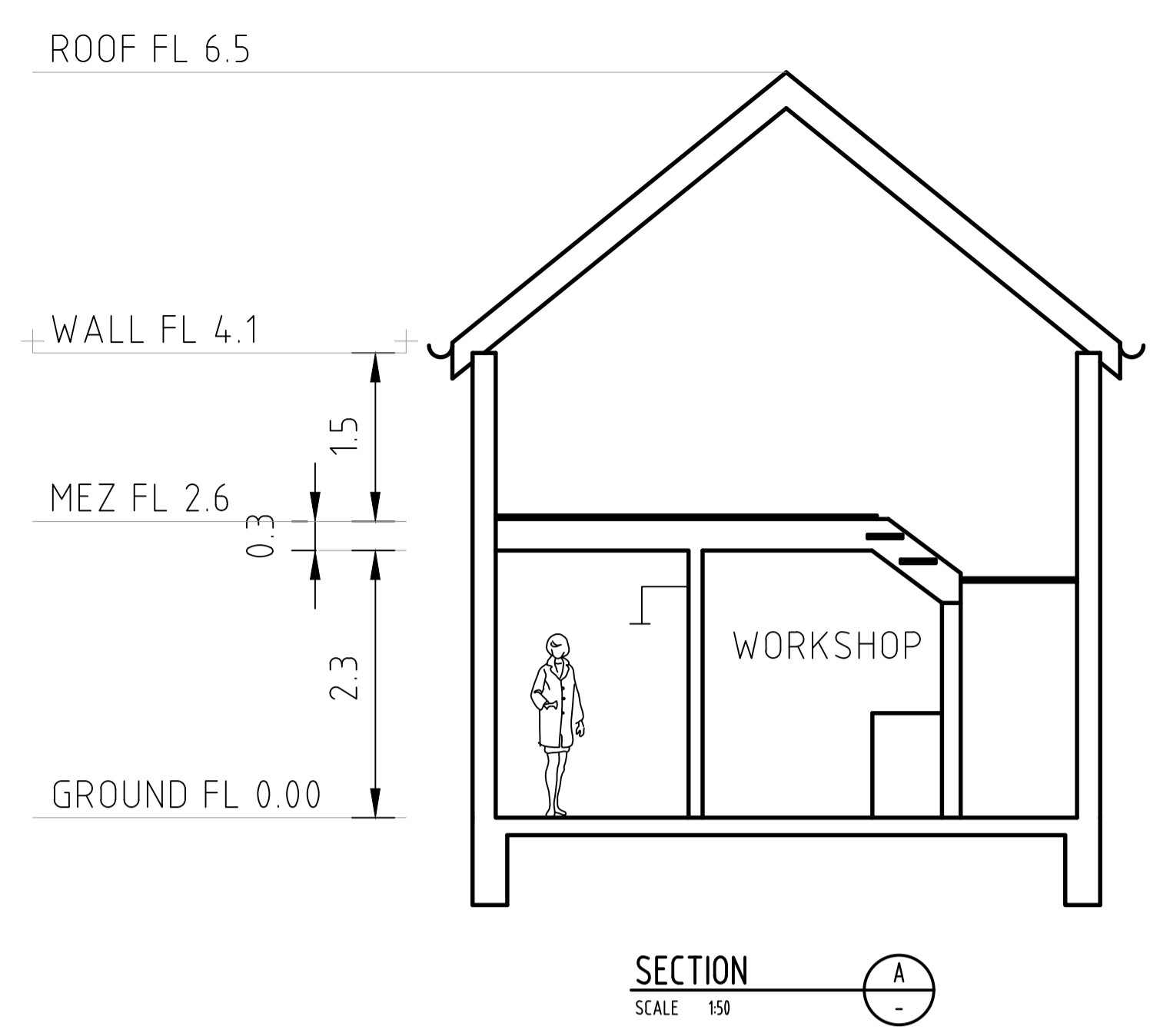
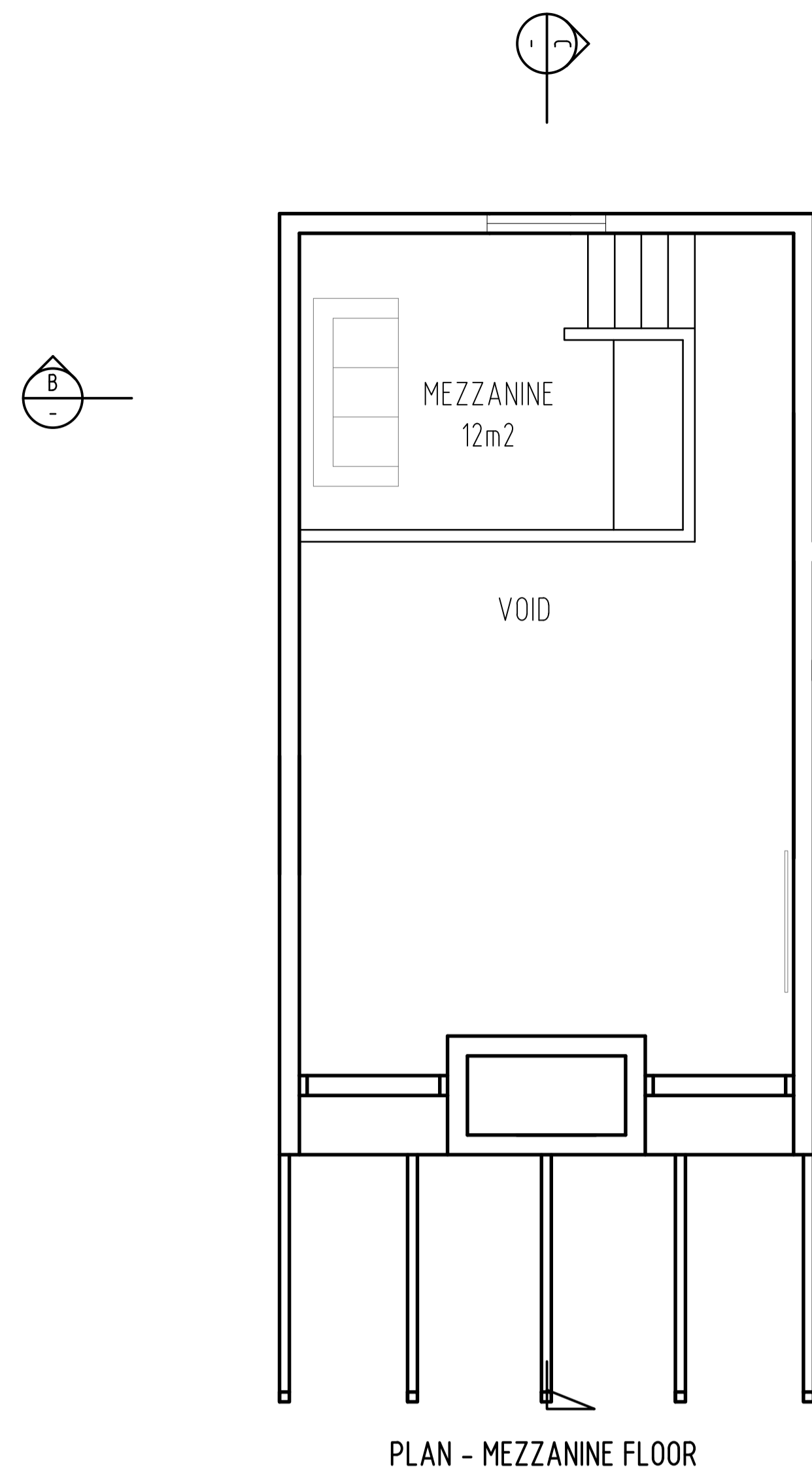
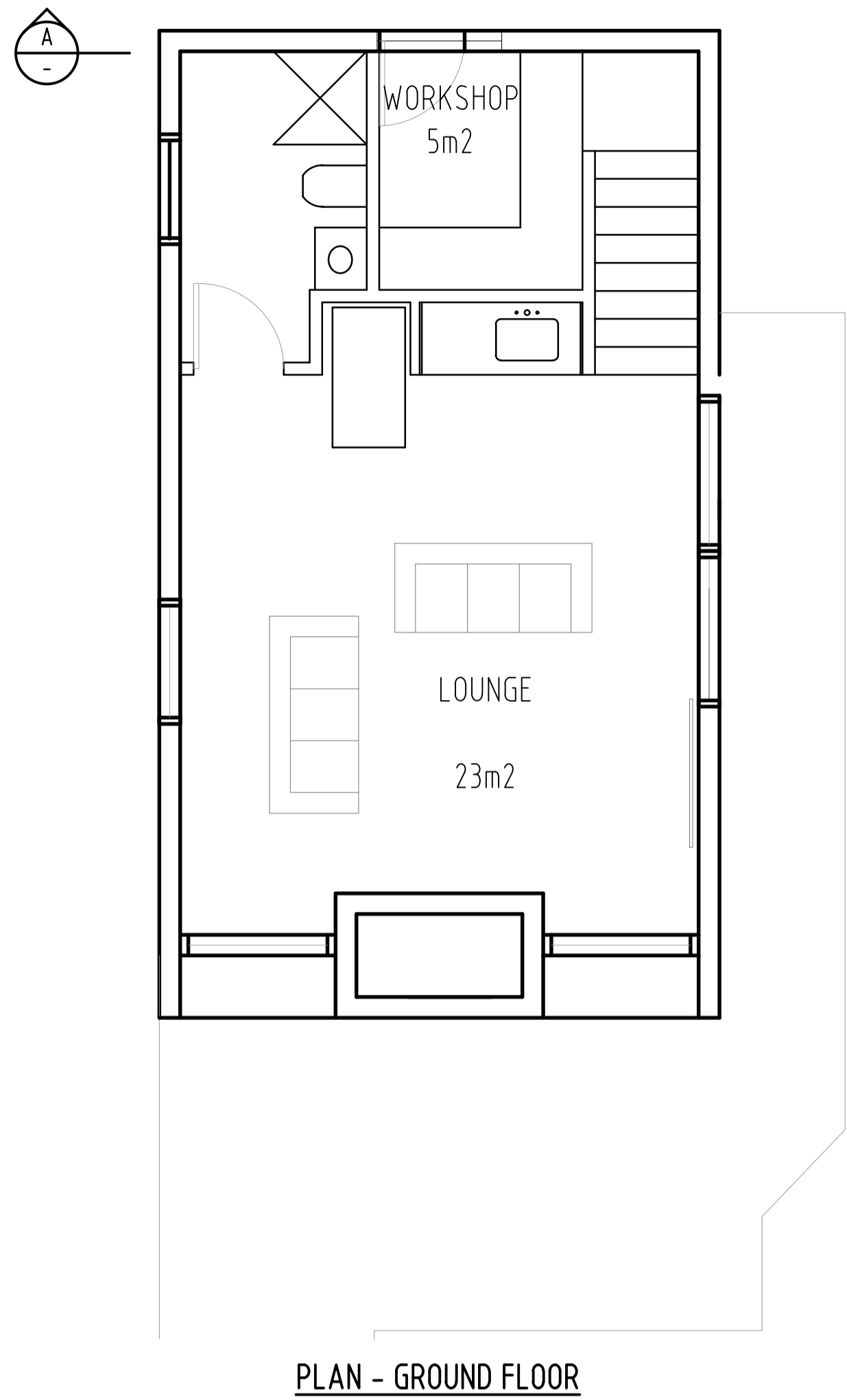
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GENERAL NOTES:

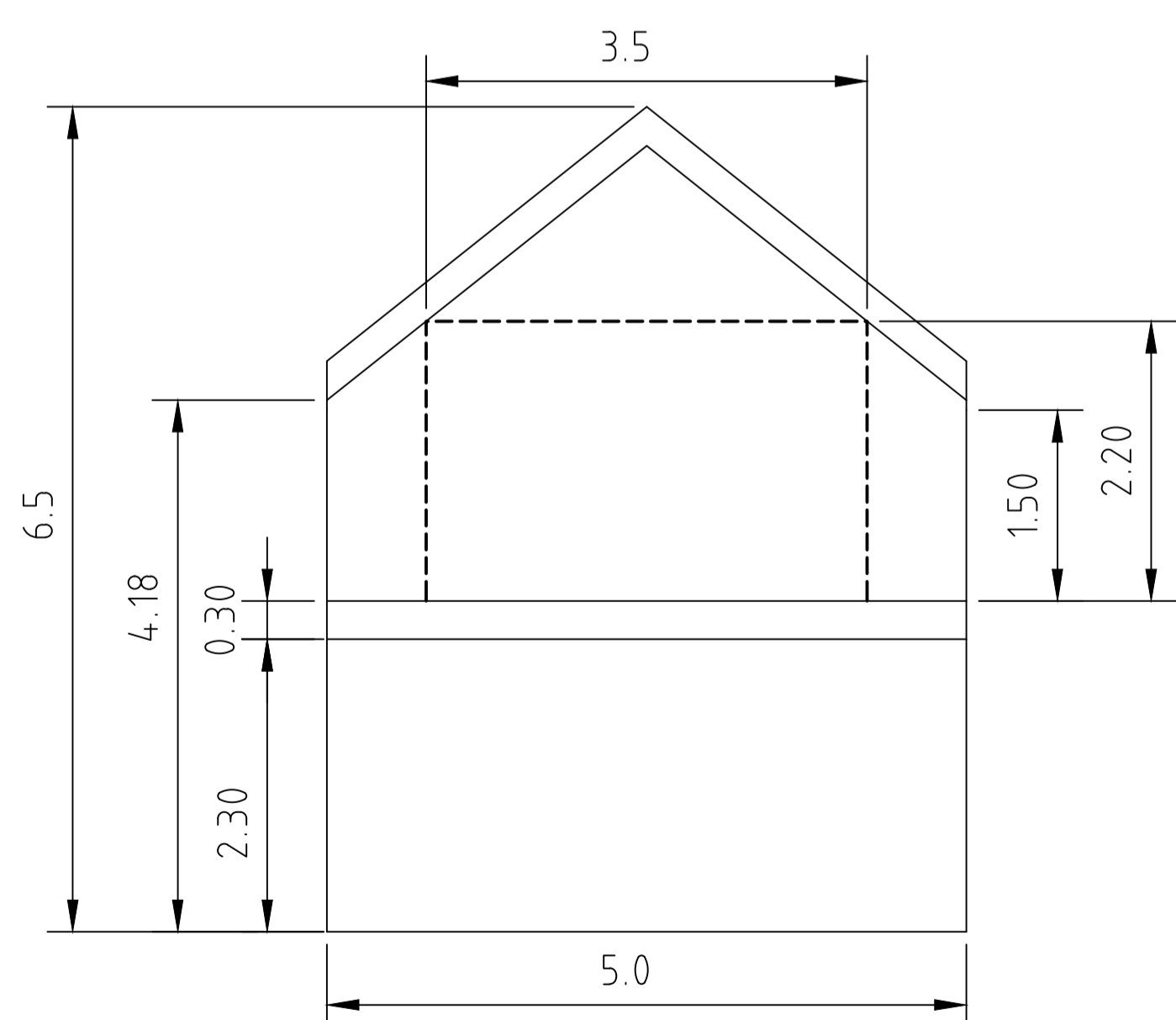
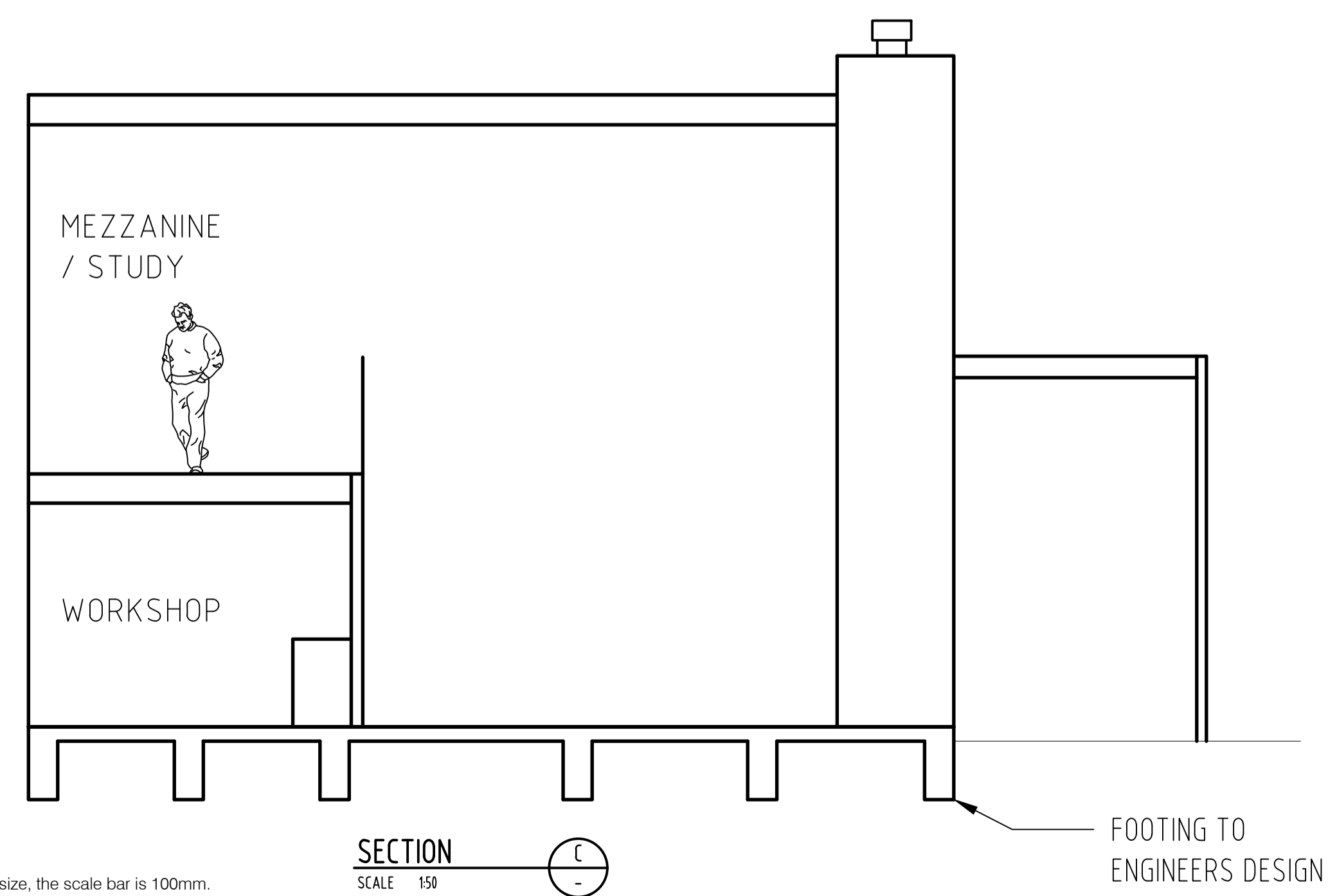
1. FINISHED FLOOR LEVELS (FFL) ARE REFERENCED AS A LOCAL DATUM FOR EASE OF FLOOR HEIGHT CALCULATION

GENERAL NOTES:

1. MEZZANINE CALCULATION  
 $\frac{3.5}{5.2} = 67.3\%$   
 $= \geq 66.66\%$

**AMENDED PLAN / DOCUMENT DATE: 4/02/2021**

2. AREAS:  
 LOUNGE - 22  
 WORKSHOP - 5  
 MEZZANINE - 12  
 BATHROOM - 5  
 PERGOLA - 14  
**TOTAL 58 M2**



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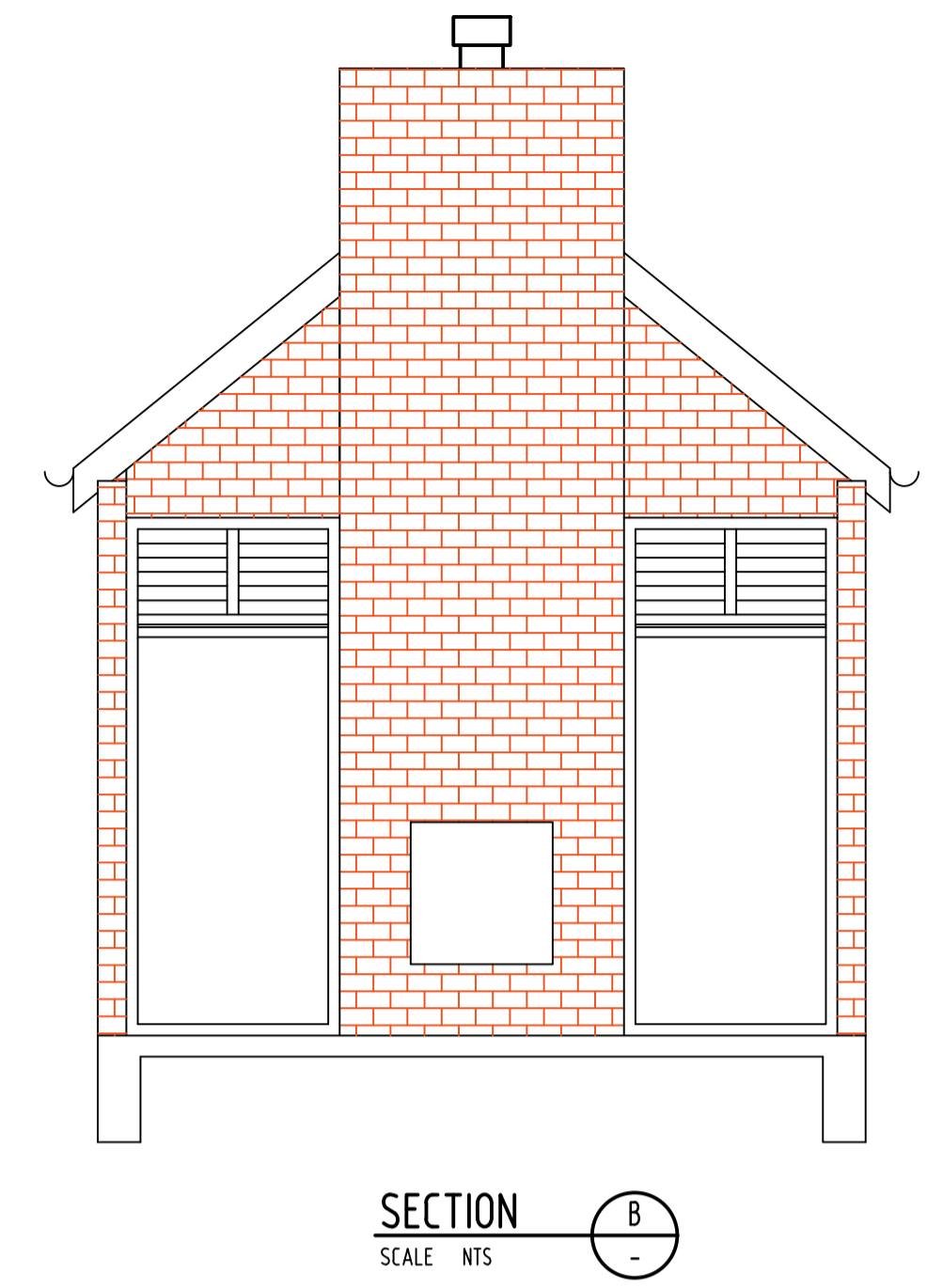
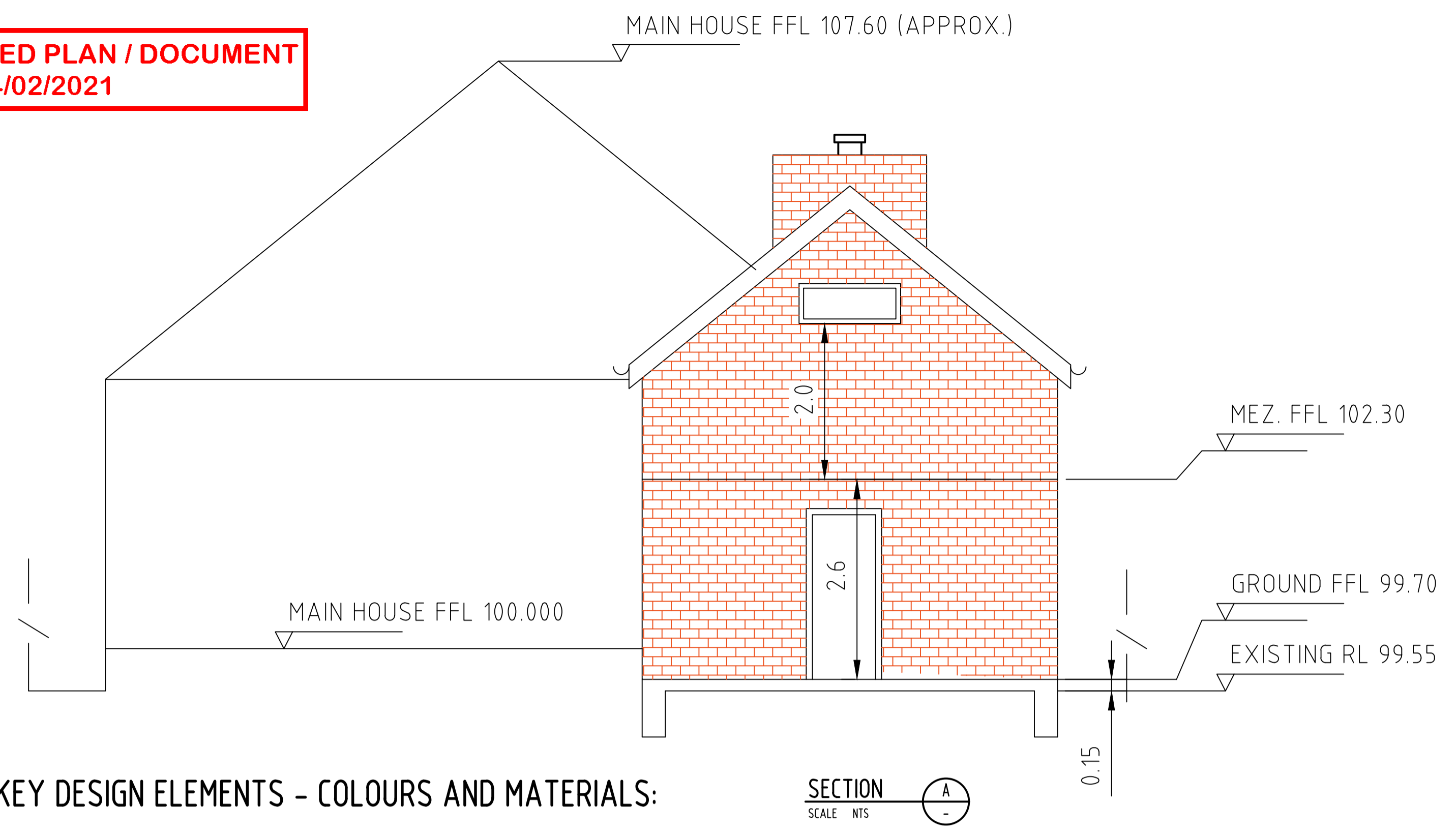
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| B    | 18.01.2021 | RE-ISSUED FOR DEVELOPMENT CONSENT | GY    | GY   | EH   |
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**YOUNGY CONSULTANTS**

177 WATTLE STREET, MALVERN  
 CARPORT, STUDIO ROOM AND WORKSHOP  
 PROPOSED OUT BUILDING  
**FLOOR AREA CALCULATIONS**

A1 DRAWING NUMBER  
 Job Number Sheet No. Rev.  
 Design Drawn GY-2020-DA-0001-0006 B

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**KEY DESIGN ELEMENTS - COLOURS AND MATERIALS:**

- STUDIO OUT BUILDING**
- SCALE AND DIMENSIONS SYMPATHETIC TO SURROUNDING BUILDINGS BEING LOWER THAN ADJACENT ROOF HEIGHTS
  - SITE LOCATION SYMPATHETIC TO ADJACENT DWELLINGS BEING OFFSET FROM BOUNDARY
  - ROOF PITCH SIMILAR TO ADJACENT DWELLINGS
  - DISCRETELY LOCATED ON SITE WITH LARGE SPACE REMAINING AREA FOR OPEN SPACE
  - WINDOW LOUVRES INCORPORATED FOR PASSIVE COOLING AND AIR FLOW
  - BARN STYLE OUTSIDE DOORS FOR PASSIVE COOLING ON WESTERN WALL
  - WINDOW HEIGHT LOCATED SYMPATHETIC TO NEIGHBOUR OVERLOOKING PRINCIPLES

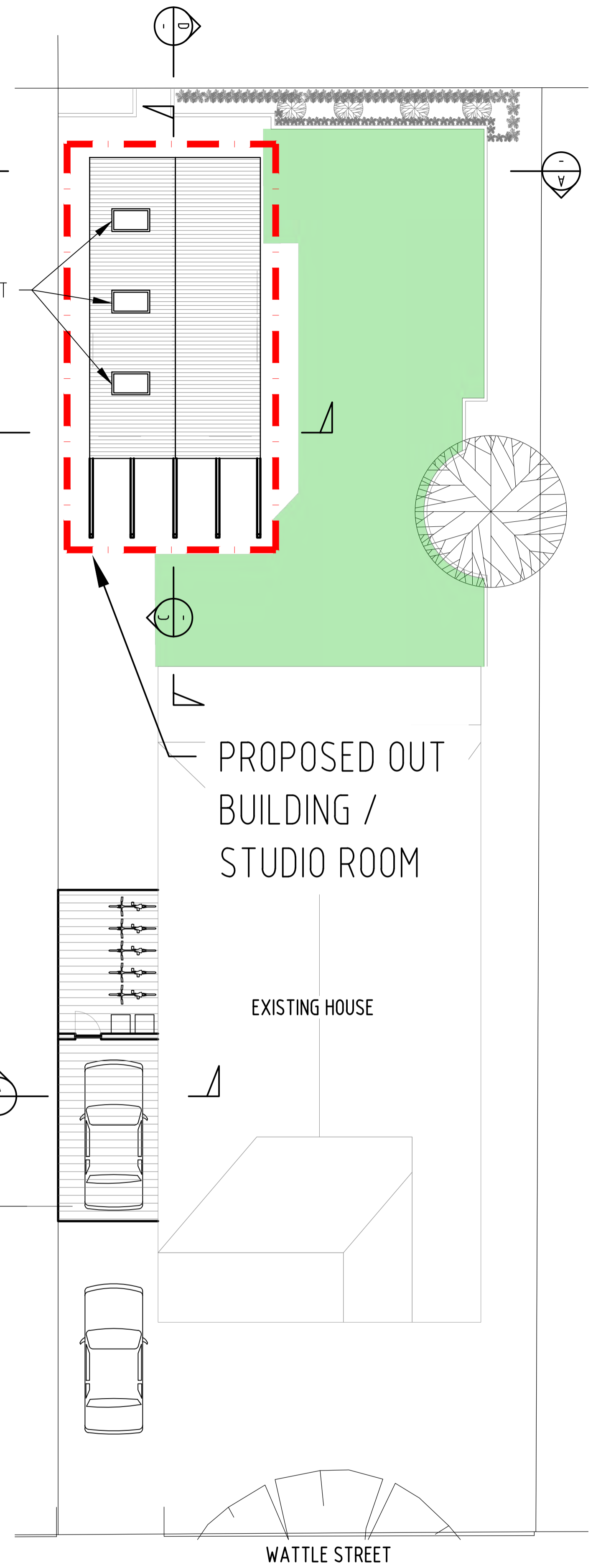
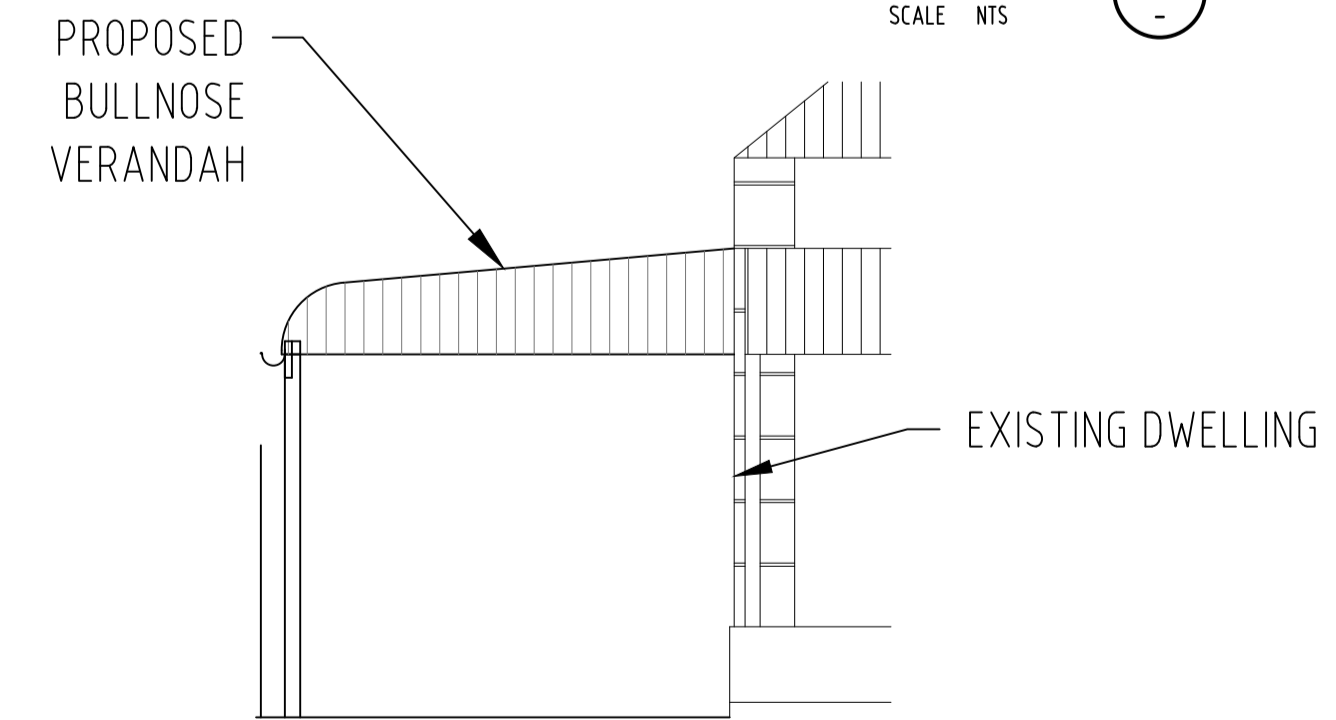
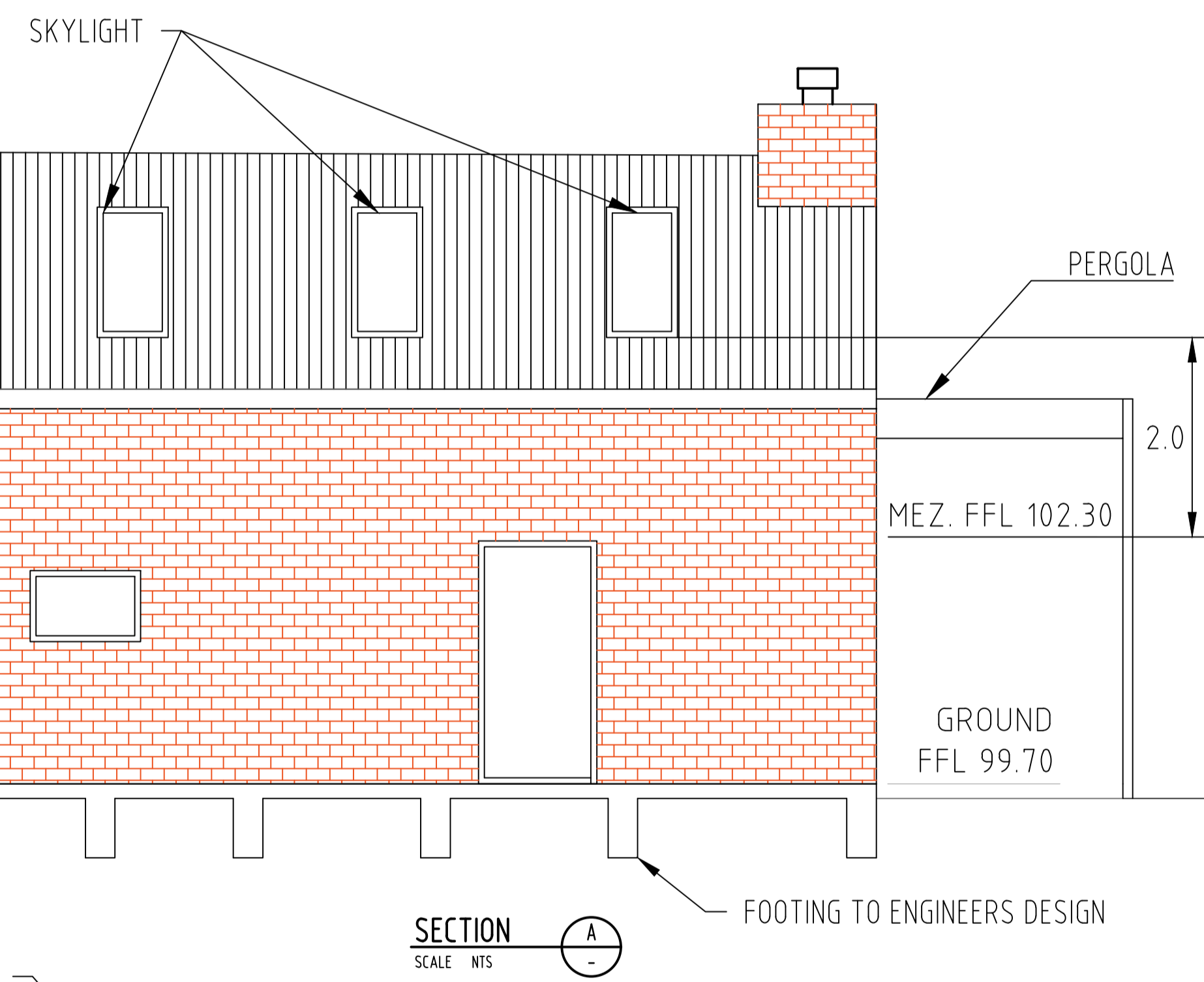
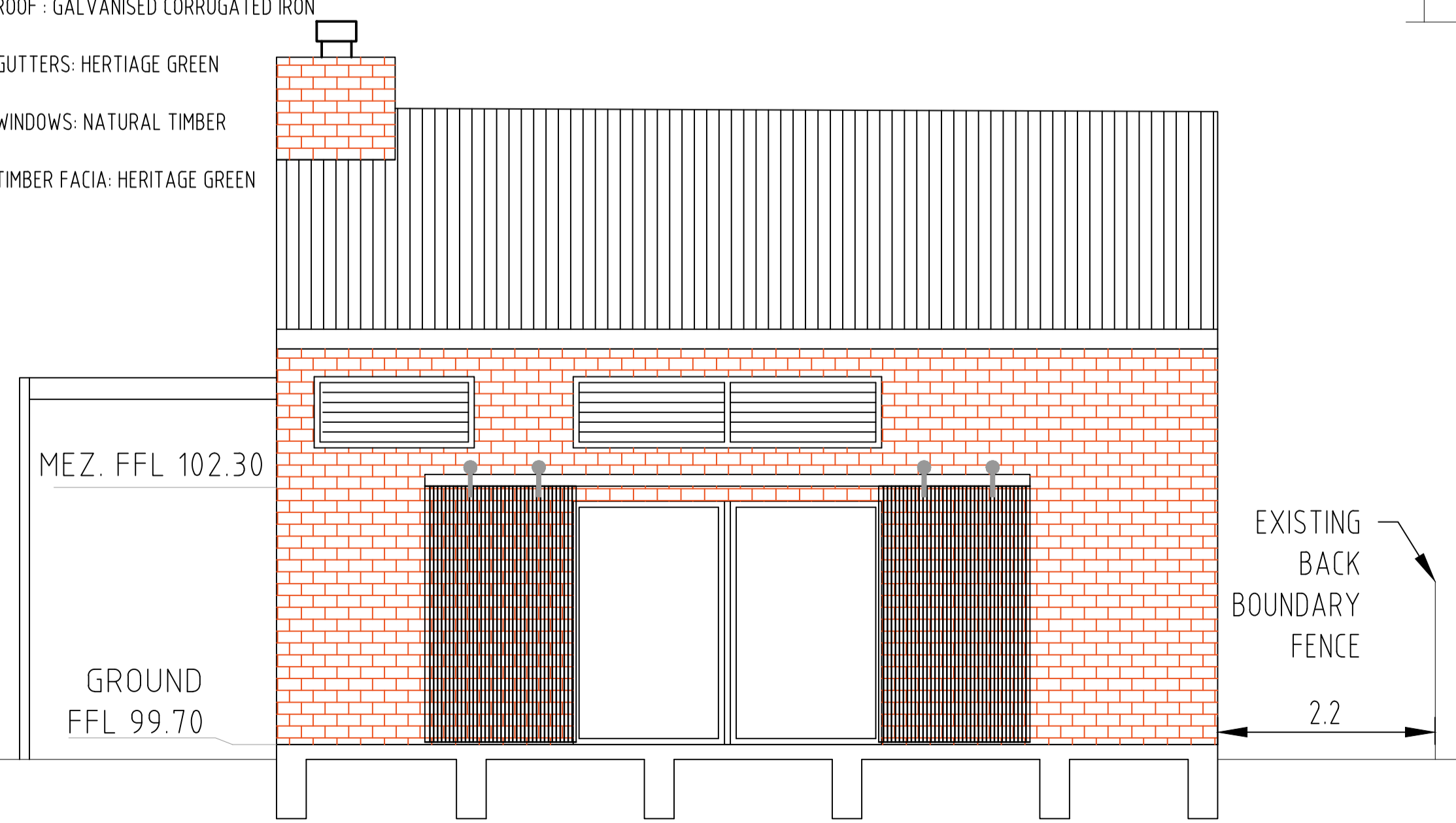


**RED BRICK**

**MATERIALS AND FINISHES**

**STUDIO OUT BUILDING**

- WALLS : MASONARY RED BRICK
- ROOF : GALVANISED CORRUGATED IRON
- GUTTERS: HERITAGE GREEN
- WINDOWS: NATURAL TIMBER
- TIMBER FACIA: HERITAGE GREEN



**GENERAL NOTES:**  
 1. FINISHED FLOOR LEVELS (FFL) ARE REFERENCED AS A LOCAL DATUM FOR EASE OF FLOOR HEIGHT CALCULATION

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| REV. | DATE       | DESCRIPTION                       | DRAFT | ENG. | CHKD |
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| A    | 19.11.2020 | ISSUED FOR DEVELOPMENT CONSENT    | GY    | GY   | EH   |
| B    | 12.12.2021 | UPDATED SECTION A AND D           | GY    | GY   | EH   |
| C    | 18.01.2024 | RE-ISSUED FOR DEVELOPMENT CONSENT | GY    | GY   | EH   |

**YOUNGY CONSULTANTS**

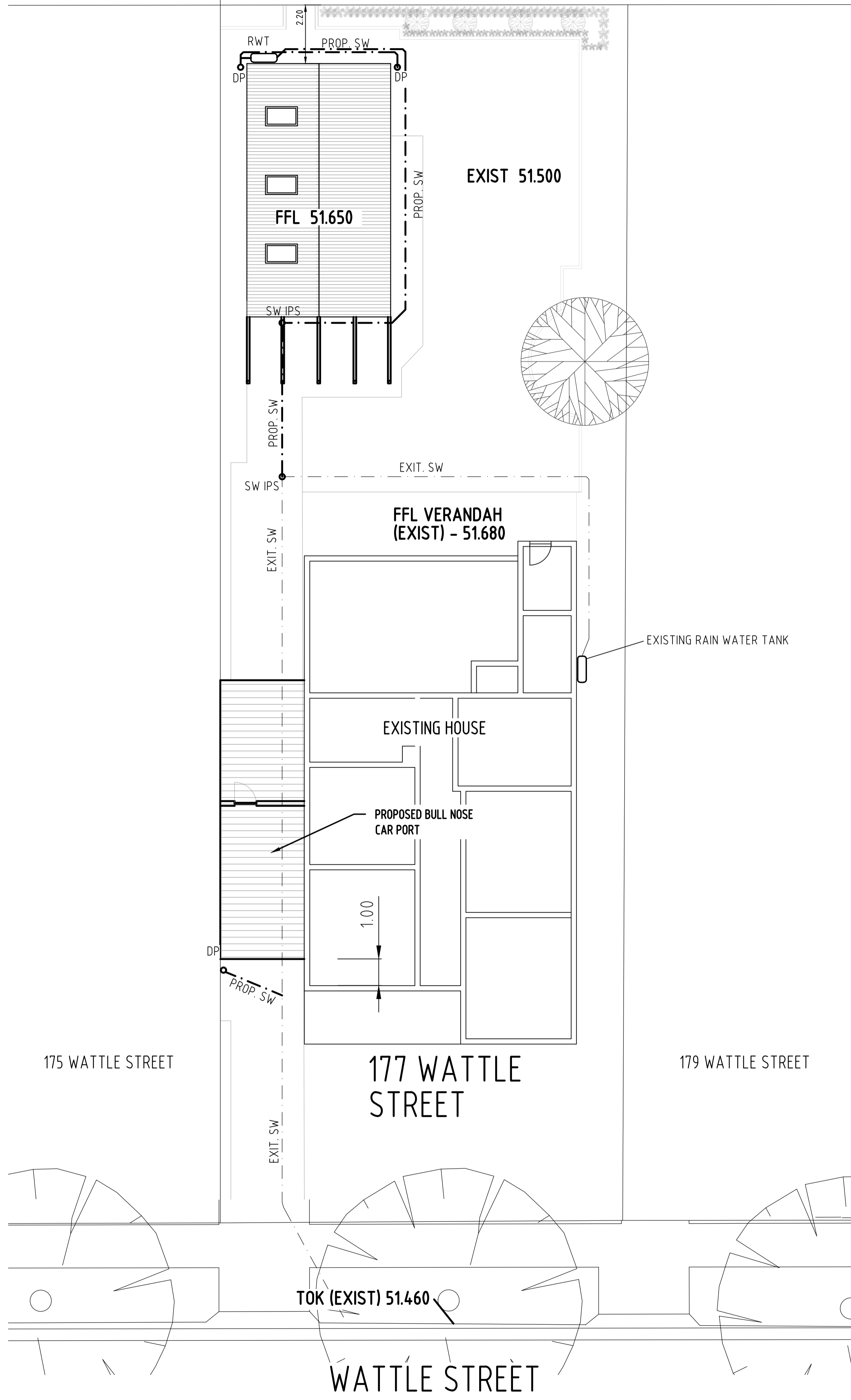
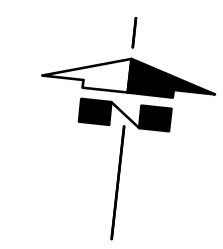
177 WATTLE STREET, MALVERN  
 CARPORT, STUDIO ROOM AND WORKSHOP  
 PROPOSED OUT BUILDING & CARPORT  
 SECTION VIEW & DESIGN ELEMENT

**A1** DRAWING NUMBER  
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42 CLIFTON STREET

51 CAMBRIDGE TERRACE



GENERAL NOTES:

1. ALL PROPOSED NEW STORMWATER PIPES TO BE Ø100 SEWER CLASS
2. PROPOSED RAINWATER TANK TO BE 2000L MINIMUM CAPACITY IN CORRUGATED COLOURBOND - HERITAGE GREEN.

STORMWATER LEGEND

- PROP. SW: PROPOSED STORMWATER - Ø100 PVC - SEWER CLASS PIPE AND FITTINGS
- EXIT. SW: EXISTING STORMWATER
- DP: PROPOSED STORMWATER DOWNPIPE
- SW IPS: PROPOSED STORMWATER INSPECTION POINT RAISED TO SURFACE
- RWT: PROPOSED RAINWATER TANK (MIN 2000L)

AMENDED PLAN / DOCUMENT  
DATE: 4/02/2021

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**YOUNGY CONSULTANTS**

177 WATTLE STREET, MALVERN  
CARPORT, STUDIO ROOM AND WORKSHOP  
SITE STORMWATER MANAGEMENT PLAN

**A1** DRAWING NUMBER  
Job Number Sheet No. Rev.

Design Drawn **GIY-2020-DA-0001-0008** B

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## KEY DESIGN ELEMENTS - COLOURS AND MATERIALS:

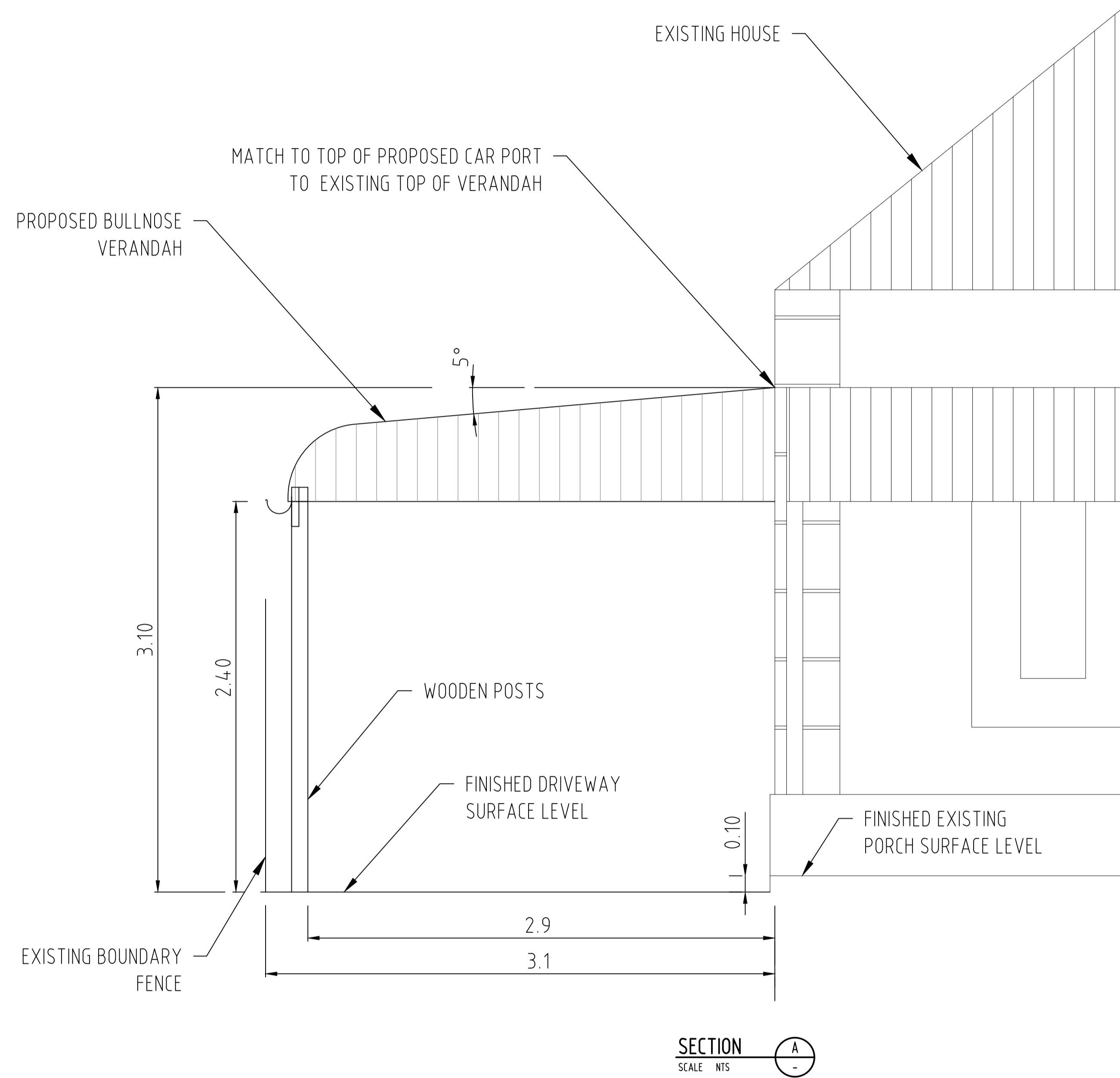
### CARPORT

- SCALE AND DIMENSIONS SYMPATHETIC TO ADJACENT VERANDAH ROOF HEIGHTS
- SET BACK 1m FROM MAIN DWELLING
- ROOF PITCH SIMILAR TO CAR PORTS IN SURROUNDING AREA

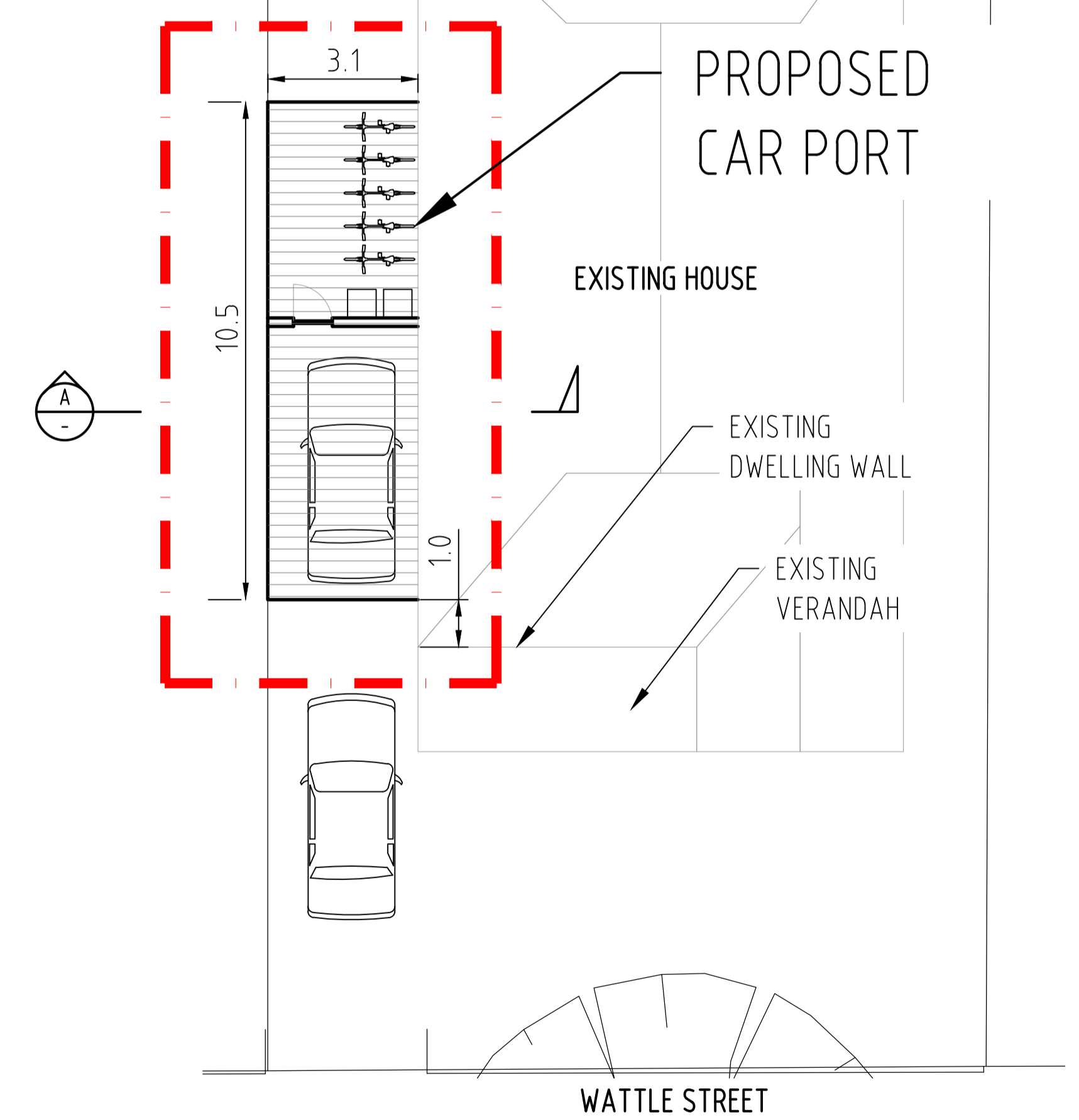
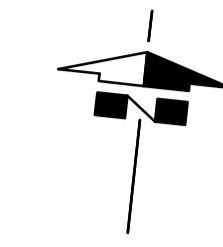
## MATERIALS AND FINISHES

### CAR PORT

- POSTS : WOODEN POSTS PAINTED IN HERITAGE GREEN
- ROOF : GALVANISED CORRUGATED IRON
- GUTTERS: HERITAGE GREEN
- TIMBER FACIA: HERITAGE GREEN



**AMENDED PLAN / DOCUMENT  
DATE: 4/02/2021**



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**YOUNGY  
CONSULTANTS**

|                                                                                                        |                |
|--------------------------------------------------------------------------------------------------------|----------------|
| 177 WATTLE STREET, MALVERN<br>CARPORT, STUDIO ROOM AND WORKSHOP<br>CARPORT SECTIONS<br>FRONT ELEVATION |                |
| A1                                                                                                     | DRAWING NUMBER |
| Design                                                                                                 | Job Number     |
| Drawn                                                                                                  | Sheet No.      |
| GIY-2020-DA-0001-0009                                                                                  | Rev.           |
| B                                                                                                      |                |



## KEY DESIGN ELEMENTS - COLOURS AND MATERIALS:

### CARPORT

- SCALE AND DIMENSIONS SYMPATHETIC TO ADJACENT VERANDAH ROOF HEIGHTS
- SET BACK 1m FROM MAIN DWELLING
- ROOF PITCH SIMILAR TO CAR PORTS IN SURROUNDING AREA

## MATERIALS AND FINISHES

### CAR PORT

- POSTS : WOODEN POSTS PAINTED IN HERITAGE GREEN
- ROOF : GALVANISED CORRUGATED IRON
- GUTTERS: HERITAGE GREEN
- TIMBER FACIA: HERITAGE GREEN

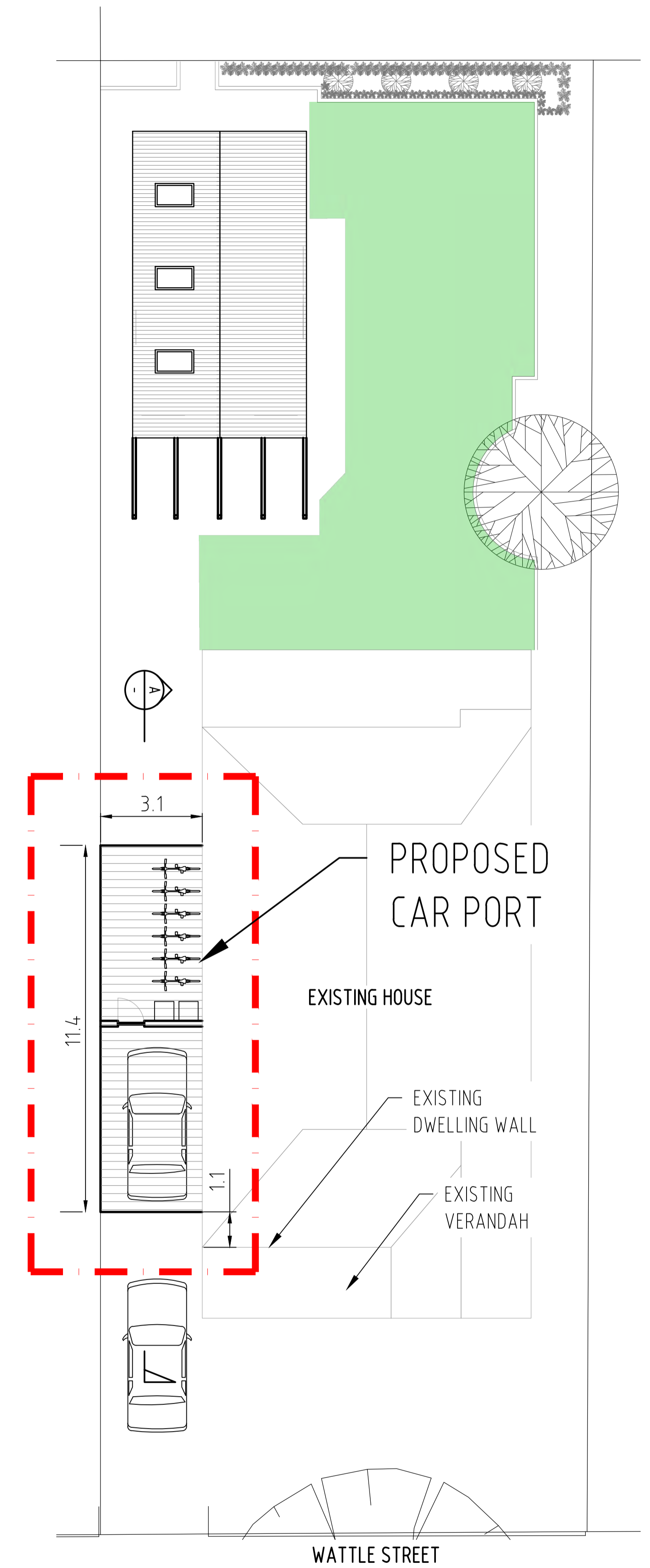
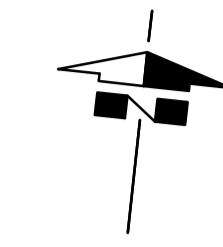


SECTION A  
SCALE NTS

**AMENDED PLAN / DOCUMENT**  
**DATE: 4/02/2021**

C:\00\_Personal\177 Wattle Street\00\_ArchCAD\GYI-2020-DA-0001-0010.dwg, A, 19/11/2021 9:48 AM, GYoung

When sheet printed full size, the scale bar is 100mm.  
0 50 100mm



**FOR APPROVAL**  
NOT FOR CONSTRUCTION

| REV. | DATE       | DESCRIPTION        | DRAFT | ENG. | CHKD |
|------|------------|--------------------|-------|------|------|
| A    | 18/01/2020 | ADDITIONAL SECTION | GY    | GY   | EH   |
|      |            |                    |       |      |      |
|      |            |                    |       |      |      |
|      |            |                    |       |      |      |
|      |            |                    |       |      |      |

**YOUNGY**  
CONSULTANTS

|                                                                                                       |                |                       |           |
|-------------------------------------------------------------------------------------------------------|----------------|-----------------------|-----------|
| 177 WATTLE STREET, MALVERN<br>CARPORT, STUDIO ROOM AND WORKSHOP<br>CARPORT SECTIONS<br>SIDE ELEVATION |                |                       |           |
| A1                                                                                                    | DRAWING NUMBER | Job Number            | Sheet No. |
| Design                                                                                                | Drawn          | GIY-2020-DA-0001-0010 | Rev. A    |

**ATTACHMENT B**

**REPRESENTATION Category 2 (Page 1)**

CITY OF UNLEY

24 FEB 2021

REF:

To: Amy Barratt, City of Unley Development Section

**Please read these notes carefully:**

1. Both pages MUST be completed in full and returned to the City of Unley by the closing date to be a valid representation.
2. This page (ie Page 1) will NOT be published on the internet.
3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
4. Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is 5pm on 24 February 2021.

Application: 090/890/2020/C2 177 Wattle Street, Malvern SA 5061

**Details of Person(s) making Representation:**

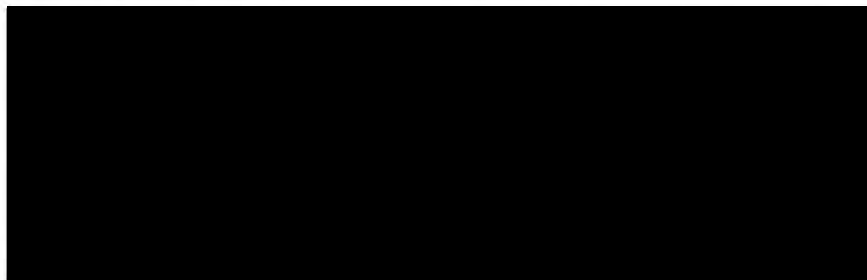
Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected  
by Development



175 Wattle St, Malvern



(Signature)

24/2/21

(Date)

## REPRESENTATION Category 2 (Page 2)

To: Amy Barratt, City of Unley Development Section

1. This page (ie Page 2) and any attachments may be published on the internet and thus be able to be searched via Google and other internet search engines.
2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The **closing date** for Representations is **5pm on 24 February 2021**.

|                                         |                                                    |
|-----------------------------------------|----------------------------------------------------|
| <b>Application:</b>                     | 090/890/2020/C2 177 Wattle Street, Malvern SA 5061 |
| <b>Property affected by Development</b> |                                                    |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

*(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)*

We are generally supportive of the development and like the overall design, including the use of matching red brick.

Our two main concerns are:

- overlooking from windows in mezzanine level on eastern side of building
- shading impact given overall height of 6+ metres and how close it is to the boundary

My concerns (if any) could be overcome by:

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

*(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)*

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY

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Application: 090/890/2020/C2 177 Wattle Street, Malvern SA 5061

Details of Person(s) making Representation:

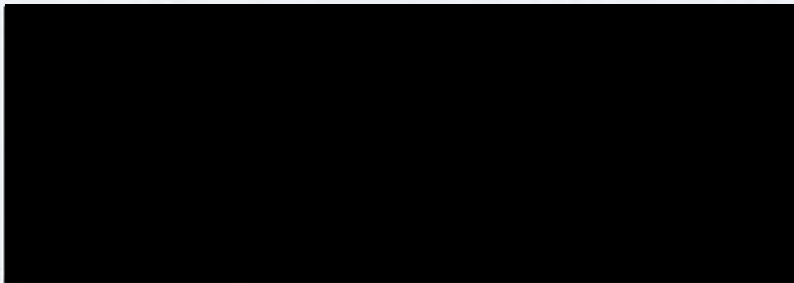
Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected by Development



42 Clifton St, Malvern S.A. 5061

(Signature)

23/2/21

(Date)

## REPRESENTATION Category 2 (Page 2)

To: Amy Barratt, City of Unley Development Section

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2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is **5pm on 24 February 2021.**

|                                         |                                                    |
|-----------------------------------------|----------------------------------------------------|
| <b>Application:</b>                     | 090/890/2020/C2 177 Wattle Street, Malvern SA 5061 |
| <b>Property affected by Development</b> | 42 Clifton St, Malvern                             |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

Appearance - Total height of the Proposed Outbuilding / Studio Room is 6.5m but even from lowest roofline is approx. 4.2m and is therefore significantly higher than the existing fence line (more than double) and respectively near the height of the existing house. This appears out of character with the rest of the neighbourhood, as it is extremely high compared to neighbouring properties and is therefore overbearing. Whilst we have trees on our boundary, these are unlikely to stay and as such, the building is considered too high at the back of the property. Overlooking - whilst the window on the southern side is high (4.6m above ground and mezzanine is 2.6m, leaving 2m gap) appears is for use of light only, but this seems covered by above skylight.

My concerns (if any) could be overcome by:

Appearance - reduce height of structure, closer to existing shed height.  
 Overlooking - no southern window or frosted.

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

23 FEB 2021

REF:

**REPRESENTATION Category 2 (Page 1)**

To: Amy Barratt, City of Unley Development Section

**Please read these notes carefully:**

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The **closing date** for Representations is **5pm on 24 February 2021**.**Application:** 090/890/2020/C2 177 Wattle Street, Malvern SA 5061**Details of Person(s) making Representation:****Name:****Postal Address:****EMAIL ADDRESS:****Daytime Phone No.****Property affected  
by Development**

51 Cambridge Tce, Malvern SA 5061



(Signature)

22-Feb-2021

(Date)

## REPRESENTATION Category 2 (Page 2)

To: Amy Barratt, City of Unley Development Section

1. This page (ie Page 2) and any attachments may be published on the internet and thus be able to be searched via Google and other internet search engines.
2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is **5pm on 24 February 2021.**

|                                         |                                                    |
|-----------------------------------------|----------------------------------------------------|
| <b>Application:</b>                     | 090/890/2020/C2 177 Wattle Street, Malvern SA 5061 |
| <b>Property affected by Development</b> | 51 Cambridge Tee, Malvern SA 5061 (back neighbour) |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

① Overlooking: The proposed "outbuilding with mezzanine" would directly overlook our yard and have oblique direct line of sight into our family/living and dining room. We realise it's not the intent of the neighbours to peer into our living space, but the outlook makes us feel an uneasy and uncomfortable incursion on privacy.

② Appearance & Character: We feel the proposed "outbuilding with mezzanine" is too high and imposing<sup>v</sup> in the rear corner of the block.  
positioned

**My concerns (if any) could be overcome by:**

① Overlooking: (a) the upper window (regardless that its 1.8m) could be completely removed (there would still be lots of light from skylights); (b) the ground floor windows/doors have line of sight to our living room/family room - perhaps a higher fence, or screen could be included in the design.

② Appearance: Such a multi-level dwelling would be more appropriate on the main house. or, if it is an outbuilding, then a ground-level single storey building would be

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

more appropriate.



**ATTACHMENT C**

**REF: 890/2020/C2, 177 Wattle Street, Malvern**

We, the applicant, provide the following comments in reply to our neighbours concerns during the public consultation process.

**Applicant response to comments:**

Eastern Boundary comments – 175 Wattle Street, Malvern

- Overlooking – all mezzanine window sills are 2.0m minimum above mezzanine floor level
- Shading
  - Roof height is lower than main dwelling
  - Studio room located 1.0m offset from east boundary to limit impact of shading
  - Studio room located in the south east corner of block limiting impact to neighbour
  - Maximum roof height to create mezzanine has been kept to a minimum – see sheet 6 of drawings.

Conclusion: we believe the designed has been carried to limit the impact of our neighbours and conclude:

- 1) it will not be possible to see from the studio room into the neighbour's property (ie there will be no overlooking); and
- 2) the difference between shading from current structure and new structure will be negligible.

South Eastern Boundary comments – 42 Clifton Street, Malvern

- The studio room has a lower roof height than the main dwelling as the existing house is much wider than studio room creating a much higher top roof level - see sheet 7 of drawings
- Studio room will be lower in comparison to most, if not all main dwellings surrounding the area and not higher as mentioned in comments from 42 Clifton Street
- Style and character of studio room has been designed to be in keeping with the dwellings surrounding the area with the use of red brick, similar roof pitch and similar style
- All mezzanine windows sills (including skylights) are greater than 1.7m above the mezzanine floor level – as shown on sheet 7

Conclusion: we have made every effort to ensure the studio room is in keeping with the character of the area and (as stated above) there will be no overlooking.

Southern Boundary comments – 51 Cambridge Street, Malvern

- Ground Floor level of studio room lower than floor level of main dwelling to ensure roof height is kept to a minimum
- Studio room located a generous 2.2m offset from southern boundary
- Trees have recently been planted on southern boundary to provide additional privacy

- All mezzanine windows sills (including skylights) are greater than the minimum 1.7m required – see sheet 7. The southern window sills are located at a conservative 2.0m above mezzanine floor level
- While we don't feel it's necessary, we are happy to consider raising the southern boundary fence to a height of 2.3m above ground level (0.5m above existing height)

Conclusion: as a result of the measures we have taken to reduce the impacts on our neighbours, it will not be possible to see from the studio room into neighbouring properties (ie there will be no overlooking).

Kind Regards

Glen Young and Emily Heywood-smith

**ATTACHMENT D**

# YOUNGY CONSULTANTS

Emily Heywood-Smith and  
Glen Young

**177 Wattle Street  
Malvern**



## **REQUEST FOR DEVELOPMENT CONSENT**

Project No. 20000001  
Doc No. YGE-RP-CV-0001  
Rev. A

19 November 2020

# YOUNGY

---

**Revision History**

| Rev | Date       | Issue                         | Originator | Checker | Approver |
|-----|------------|-------------------------------|------------|---------|----------|
| A   | 19.11.2020 | Issue for Development Consent | GY         | EH      | EH       |
|     |            |                               |            |         |          |
|     |            |                               |            |         |          |
|     |            |                               |            |         |          |



# CONTENTS

---

|                                      |          |
|--------------------------------------|----------|
| <b>1. Site Description</b> .....     | <b>3</b> |
| 1.1 Background.....                  | 3        |
| 1.2 Site location.....               | 3        |
| <b>2. Proposed Development</b> ..... | <b>3</b> |
| 2.1 Proposed development.....        | 3        |
| 2.2 Stormwater management.....       | 4        |

## Appendices

**Appendix A** Property Search

**Appendix B** Development Consent drawings

**Appendix C** Council Preliminary Assessment



# 1. SITE DESCRIPTION

---

## 1.1 BACKGROUND

This report has been prepared to seek planning consent for a proposed bullnose carport and studio room / out building located within the site of 177 Wattle Street, Malvern. On 24 May 2020, a preliminary application with supporting drawings was submitted to Council seeking preliminary advice to erect a carport, demolish a garage and construct a category 10 outbuilding.

On 26 May 2020, Council advised that a general assessment had determined that:

- The land is located within the Residential Historic Conservation Zone;
- The wall heights and roof are greater than that set out in the Council Wide Principles of Development Control and related Design Techniques;
- However, the building is not excessive, would be set back some distance from adjoining boundaries and would not abut areas of sensitive use on adjoining land.

Modifications have been made to the original preliminary application to address Council preliminary comments.

We understand that the application will be assessed on its merits and will be considered a Category 2 development, requiring public notification to adjoining properties. This report aims to provide additional information to assist in obtaining development consent.

## 1.2 SITE LOCATION

The subject land is located at 177 Wattle Street Malvern is located on plan parcel ID F15586 AL276 Certificate of Title CT 5074/38 zoned Residential Historic Conservation (RHC) within the City of Unley Council area. The allotment falls under Policy Area 6 – Spacious Historic Unley and Malvern Trimmer Estate. There are no easements or encumbrances on the land. A property search was carried out through the Planning SA website which is attached in appendix A of this report.

# 2. PROPOSED DEVELOPMENT

---

## 2.1 PROPOSED DEVELOPMENT

We are seeking to demolish the existing garage and replace it with a studio type outbuilding suitable for occasional entertaining and a second storage area. The studio room will serve as a second living space for our children as well as a quiet area for studying in the upper mezzanine area.

The footprint of the studio room will be of similar footprint than the current shed and will be further offset from the boundaries than the current shed. As the studio room is replacing a shed in its current location, the proposed development will not have any impact on vegetation as there are no significant trees or other plants in the area.

We, the landowners, have a keen interest in architectural style of the area and an appreciation of heritage considerations and have sought advice on the design to ensure that it is consistent with the style and character of other homes in the area and also complements the style and features of the current residence.



Some of the key the features of the proposed development include:

### **Bullnose Carport**

- Carport will be recessive and set back from main house façade a min of 1.0m as per the from the preliminary advise by Council;
- Structure will be of similar style to carports in surrounding area;
- Colour of trimming to match main house;
- Width similar to adjacent dwellings;
- Height to be same as adjacent bullnose veranda;
- Provision for 2 off street car parks, and;
- Low key with less dominant street appeal.

### **Studio Room**

- Roof Pitch of similar angle to existing dwelling;
- Roof height lower than main dwelling;
- Located 2.2m offset from back fence to reduce visual impact to back neighbour;
- Set back 1.0m from eastern boundary for reduced impact to adjacent neighbour;
- Style sympathetic to surrounding dwelling with red brick and colour bond roof;
- Upper floor windows above 1.7m from floor level;
- Red brick façade consistent to main dwelling;
- Barn style architecture sympathetic to surrounding area and dwellings, and;
- Strategic location of windows and louvres for passive heating and cooling.

Whilst the side walls and roof height of the studio room are marginally above the recommended heights indicated in the development plan, we believe our design is not excessive and will add to the amenity of our property and the surrounding area. The studio room will be a significantly more attractive feature than the existing large steel shed that currently occupies the space. The view of the studio room from the street will be obscured by the proposed carport along with it being set back some distance from the adjoining boundaries.

This application also includes the erection of a carport and we have addressed the concerns raised in the preliminary assessment so that the carport is set back from the main house and is no longer incorporated within the front veranda.

## **2.2 STORMWATER MANAGEMENT**

Roof stormwater of the proposed studio room will be discharged to a rainwater tank with the overflow being discharges via subsurface drainage to the existing stormwater network. Additional paved areas will be directed to the adjacent grassed areas providing passive irrigation to the adjacent areas. The pergola roof runoff will be collected via a box gutters that will be drained to a down pipe and directed to the existing sub surface stormwater network within the site.

The finished floor level of the studio room is proposed at RL 51.650 which is 190mm above the top of kerb at the midpoint of the allotment addressing Council's preliminary feedback. For the stormwater management plan of the development, refer to drawing GIY-2020-DA-0001-0008 in Appendix B.

# YOUNGY CONSULTANTS

Glen Young  
CP Eng

Telephone: 0413 793 368  
Email: [glenianyoung@gmail.com](mailto:glenianyoung@gmail.com)

---

**ADELAIDE OFFICE**

177 Wattle Street  
Malvern SA 5061  
Telephone: 0413 793 368

**YOUNGY CONSULTANTS**  
[glenianyoung@gmail.com](mailto:glenianyoung@gmail.com)

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# APPENDIX A

## PROPERTY SEARCH



The Registrar-General certifies that this Title Register Search displays the records maintained in the Register Book and other notations at the time of searching.



## Certificate of Title - Volume 5074 Folio 38

Parent Title(s) CT 4205/132  
Creating Dealing(s) CONVERTED TITLE  
Title Issued 02/06/1992 Edition 4 Edition Issued 21/08/2017

### Estate Type

FEE SIMPLE

### Registered Proprietor

GLEN IAN YOUNG  
EMILY ANNE HEYWOOD-SMITH  
OF 177 WATTLE STREET MALVERN SA 5061  
AS JOINT TENANTS

### Description of Land

ALLOTMENT 276 FILED PLAN 15586  
IN THE AREA NAMED MALVERN  
HUNDRED OF ADELAIDE

### Easements

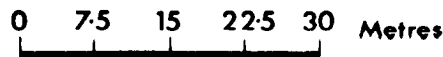
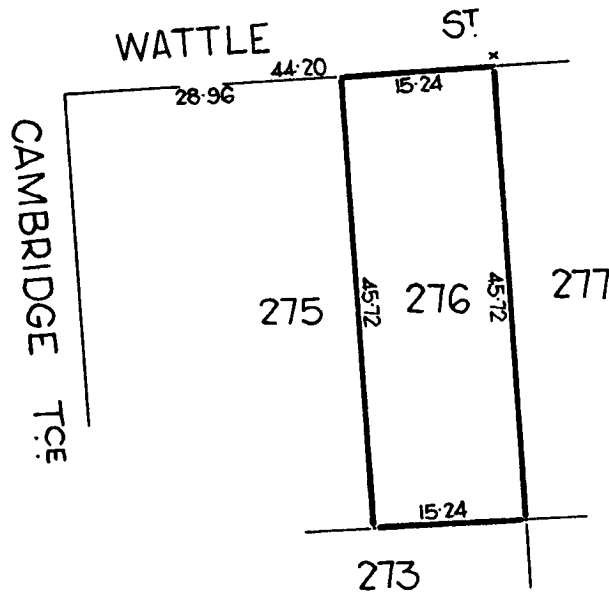
NIL

### Schedule of Dealings

| Dealing Number | Description                                                   |
|----------------|---------------------------------------------------------------|
| 12776842       | MORTGAGE TO COMMONWEALTH BANK OF AUSTRALIA (ACN: 123 123 124) |

### Notations

|                           |     |
|---------------------------|-----|
| Dealings Affecting Title  | NIL |
| Priority Notices          | NIL |
| Notations on Plan         | NIL |
| Registrar-General's Notes | NIL |
| Administrative Interests  | NIL |



---

# APPENDIX B

## DEVELOPMENT CONSENT DRAWINGS

---

# APPENDIX C

## COUNCIL PRELIMINARY ASSESSMENT

26 May 2020

G I Young  
177 Wattle Street  
MALVERN SA 5061

Dear Sir/Madam

**RE: PRE/39/2020**  
**FOR: Erect carport, demolish shed and construct habitable outbuilding**  
**AT: 177 Wattle Street, Malvern SA 5061**

**INFORMATION NOTE**

**CHANGES TO PLANNING POLICY AFFECTING LAND IN COUNCIL'S AREA**

Council takes this opportunity to inform you that pursuant to the *Planning Development and Infrastructure Act 2016* (Section 65, Clause 2 of Schedule 6 and Clause 9 (7) of Schedule 8), **the Council's Development Plan will be repealed in full and replaced with the Planning and Design Code (Code) at a time on or before September 2020.** For further information regarding this change, including the opportunity for comment in relation to the content of the Code, please refer to the SA Planning Portal at: <https://www.saplanningportal.sa.gov.au>.

As such, the information provided within this preliminary advice is only relevant until September 2020. Any application received after this time will be assessed under the Planning and Design Code and the advice pertained in this letter will no longer be relevant.

Thank you for contacting us about your proposal for work at the above address. Council has undertaken a preliminary assessment against the plans submitted (read below).

The proposed development includes demolition of an outbuilding, construction of a new outbuilding including loft, and possibly the construction of a carport as demonstrated on plans dated 24 May 2020.

**SUBJECT LAND**

The subject land is located within the Residential Historic Conservation Zone. No Title is provided therefore it is unclear whether there are any easements or encumbrances on the land.



The subject land is identified as being at risk of flooding in the event of a 100 year ARI storm event.

For allotments higher than or level with the road, the floor level must be no lower than 150mm above the top of kerb level at the midpoint of the allotment. For allotments lower than the road, finished floor levels should be as high as practical within the site constraints but should be a minimum of 150mm above finished proposed site levels around the perimeter of the proposed dwelling.

### **GENERAL ASSESSMENT**

Your attention is drawn to the following Council Wide Principles of Development Control and related Design Techniques;

#### **Performance Criteria ...**

- Outbuildings and like structures should have a maximum wall height of 3 metres and roof height of 5 metres (sited at least 2 metres from the side boundary) above ground level (CWRD-PDC30);
- Upper level windows should have minimum sill heights or be obscure glazed to a minimum 1.7m above the finished floor level (CWRD-PDC39);
- Carports alongside dwellings should not be incorporated as part of the front verandah, and should be setback at least 1 metre behind the main face of the associated dwelling and the nearest adjoining dwelling.

Whilst the wall heights and roof heights are more than as above, the building size does not appear excessive and would be setback some distance from adjoining boundaries, and would not abut areas of sensitive use on adjoining land. Such an application would be assessed on its merits, which would include public notification to adjoining properties.

The plans appear to include incomplete plans for a carport alongside the dwelling. A carport incorporated with the front verandah would likely not be supported.

### **PROCEDURE**

The application may require referral to Councils consulting Heritage Architect.

The development in its current form is determined to be Category 2 and as such requires public notification.

Upon lodging a formal application please ensure the following information is provided (in addition to the minimum information);

- Details of external colours and materials;
- If the carport is included, a design context report may be required.

*Please note that the above is preliminary advice only and does not constitute an approval. Additional issues may arise should a formal development application be submitted for assessment against the Unley (City) Development Plan.*

Please do not hesitate to contact myself on 8372 5111 should you have any questions pertaining to the content of this letter.

Yours faithfully

A handwritten signature in black ink, appearing to read 'H Stryker', is written over a light grey rectangular background.

**Harry Stryker**  
**DEVELOPMENT OFFICER**

**ITEM 6****DEVELOPMENT APPLICATION – 090/14/2021/C2 – 31A FISHER STREET, MYRTLE BANK 5064 (FULLARTON)**

|                                                |                                                                                                                                    |
|------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEVELOPMENT APPLICATION NUMBER:</b>         | 090/14/2021/C2                                                                                                                     |
| <b>ADDRESS:</b>                                | 31A Fisher Street, Myrtle Bank 5064                                                                                                |
| <b>DATE OF MEETING:</b>                        | 20 <sup>TH</sup> April 2021                                                                                                        |
| <b>AUTHOR:</b>                                 | Brendan Fewster                                                                                                                    |
| <b>DEVELOPMENT PROPOSAL:</b>                   | Demolish existing dwelling and construct a two storey dwelling (on approved Lot 10 of DA 090/180/2019) with associated landscaping |
| <b>HERITAGE VALUE:</b>                         | Nil                                                                                                                                |
| <b>DEVELOPMENT PLAN:</b>                       | 15 October 2020                                                                                                                    |
| <b>ZONE:</b>                                   | Residential Streetscape (Landscape) Zone PA11.3 (560)                                                                              |
| <b>APPLICANT:</b>                              | S Khchao and S Khchao                                                                                                              |
| <b>OWNER:</b>                                  | S Khchao and S Khchao                                                                                                              |
| <b>APPLICATION TYPE:</b>                       | Merit                                                                                                                              |
| <b>PUBLIC NOTIFICATION:</b>                    | Category 2                                                                                                                         |
| <b>REPRESENTATIONS RECEIVED:</b>               | YES – One (1) oppose                                                                                                               |
| <b>CAP'S CONSIDERATION IS REQUIRED DUE TO:</b> | Unresolved representation                                                                                                          |
| <b>RECOMMENDATION:</b>                         | Approval                                                                                                                           |
| <b>KEY PLANNING ISSUES:</b>                    | Desired Character<br>Building bulk, mass and appearance<br>Streetscape character<br>Privacy<br>Access and car parking              |

**1. PLANNING BACKGROUND**

090/180/2019 – Land Division - Torrens Title - Create two allotments from one existing, carry out demolition and alterations to existing dwelling including carport to boundary; and construct two storey dwelling presenting to Sedgford Road.

Variation to 090/180/2019/DIV - amend appearance of two storey dwelling presenting to Sedgford Road and erect alfresco to rear. Approved by CAP in October 2019.

## **2. DESCRIPTION OF PROPOSAL**

The proposal includes the demolition of an existing dwelling and construction of a new two storey detached dwelling.

The proposed dwelling is to be located on an allotment that was approved under Development Application 090/180/2020. The dwelling will front onto Fisher Street and is designed with a front verandah, a double garage and a pitched roof with a series of upper level gables. External materials and finishes include face brick and rendered (off-white) wall cladding, aluminium frame windows and doors (black) and Colorbond roof sheeting (woodland grey).

Landscaping is to be provided between the front of the dwelling and the road boundary and adjacent to side and rear boundaries.

## **3. SITE DESCRIPTION**

The subject land is a residential allotment located at the corner of Fisher Street and Sedgford Road, Myrtle Bank. The land is a rectangular shape with a frontage of 21.33 metres wide to Fisher Street, 45.72 metres to Sedgford Road and a total area of 975m<sup>2</sup>.

The subject land is formally described as Allotment 507 in Filed Plan 15852 in the area named Myrtle Bank, Certificate of Title Volume 5565 Folio 42.

Currently occupying the land is a single storey bungalow dwelling fronting Fisher Street and several outbuildings within the rear yard. The land is relatively flat with a fall of approximately one metre from the rear boundary to the Fisher Street frontage.

There are no regulated or significant trees on the site or on adjoining land that would be affected by the proposed development.

#### 4. LOCALITY PLAN



#### 5. LOCALITY DESCRIPTION

##### Land Use

The locality is residential in land use and built form character. Existing development comprises predominantly detached dwellings at low densities. There are instances of original duplex or maisonette dwellings on Sedgeford Road.

##### Land Division/Settlement Pattern

The original allotment and settlement pattern has remained relatively intact with most allotments a rectangular shape. There are several large allotments in excess of 2000m<sup>2</sup> fronting Fisher Street however allotments typically range between 400m<sup>2</sup> and 800m<sup>2</sup> in area.

## **Dwelling Type / Style and Number of Storeys**

There is a mix of dwelling styles with conventional dwellings amongst traditional bungalows. Dwellings are predominantly single storey.

## **Fencing Styles**

Fencing styles and heights vary along Fisher Street and Sedgford Road and include masonry/brick walling, brush, hedging and sheet metal.

## **6. STATUTORY REFERRALS**

No statutory referrals required.

## **7. NON-STATUTORY (INTERNAL) REFERRALS**

No non-statutory (internal) referrals were undertaken.

## **8. PUBLIC NOTIFICATION**

Category 2 notification was undertaken in accordance with Table Un/8 of the Unley Development Plan. During the ten (10) business day notification period, one (1) representation was received as detailed below.

| <b>1 SEDGEFORD ROAD, MYRTLE BANK (oppose)</b>                                                |                                                                                                                                                                                       |
|----------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>ISSUES RAISED</b>                                                                         | <b>APPLICANTS RESPONSE</b>                                                                                                                                                            |
| The height of the dwelling is not consistent with Development Plan requirements for the zone | The building height of 7.85 metres allows the upper storey to fit inside the roof pitch.                                                                                              |
| The proposal has 2.0m high fencing which is not consistent with adjacent properties          | Fences on side and rear boundaries will comprise 1.8 metre high colorbond fence on top of a 200mm concrete sleeper. This is consistent with most new development throughout Adelaide. |
| The proposal does not include reinstate of kerbing on Sedgford Road                          | All redundant crossovers will be reinstated.                                                                                                                                          |
| The existing stobie pole is not accurately shown on the site plan                            | The location of the stobie pole on the site plan is correct.                                                                                                                          |

## 9. DEVELOPMENT DATA

| Site Characteristics             | Description of Development    | Development Plan Provision                                                                           |
|----------------------------------|-------------------------------|------------------------------------------------------------------------------------------------------|
| Total Site Area                  | 975m <sup>2</sup>             | 560m <sup>2</sup>                                                                                    |
| Frontage                         | 21.33m                        | 15m                                                                                                  |
| Depth                            | 45.72m                        | 20m                                                                                                  |
| <b>Allotment Characteristics</b> |                               |                                                                                                      |
| Total Site Area                  | 567m <sup>2</sup>             | 560m <sup>2</sup>                                                                                    |
| Frontage                         | 21.33m                        | 15m                                                                                                  |
| Depth                            | 26.62m                        | 20m                                                                                                  |
| <b>Building Characteristics</b>  |                               |                                                                                                      |
| <b>Floor Area</b>                |                               |                                                                                                      |
| Ground Floor                     | 231m <sup>2</sup>             |                                                                                                      |
| Upper Floor                      | 38% of ground floor           | <input type="checkbox"/> 50% of ground floor                                                         |
| <b>Site Coverage</b>             |                               |                                                                                                      |
| Roofed Buildings                 | 41%                           | <input type="checkbox"/> 50% of site area                                                            |
| Total Impervious Areas           | 70% approx.                   | <input type="checkbox"/> 70% of site                                                                 |
| <b>Total Building Height</b>     |                               |                                                                                                      |
| From ground level                | 7.85m                         |                                                                                                      |
| <b>Setbacks</b>                  |                               |                                                                                                      |
| <b>Ground Floor</b>              |                               |                                                                                                      |
| <b>Front boundary (north)</b>    | <b>7.0m<br/>9.3m (garage)</b> | <b>8.9m (average of adjoining)</b>                                                                   |
| Side boundary (east)             | 2.4m                          | 2m                                                                                                   |
| Side boundary (west)             | 1.6m                          | 1m                                                                                                   |
| Rear boundary (south)            | 5.8m                          | 5m                                                                                                   |
| <b>Upper Floor</b>               |                               |                                                                                                      |
| Front boundary (north)           | 9.0m                          | 8.9m (average of adjoining)                                                                          |
| Side boundary (east)             | 3.6m                          | 4m (minor departure)                                                                                 |
| Side boundary (west)             | 5.8m                          | 3m                                                                                                   |
| <b>Rear boundary (south)</b>     | <b>6.9m</b>                   | <b>8m</b>                                                                                            |
| <b>Private Open Space</b>        |                               |                                                                                                      |
| Min Dimension                    | 4m+                           | <input type="checkbox"/> 4m minimum                                                                  |
| Total Area                       | 142m <sup>2</sup> (25%)       | <input type="checkbox"/> 20%                                                                         |
| <b>Car parking and Access</b>    |                               |                                                                                                      |
| On-site Car Parking              | 3 spaces                      | 2 per dwelling                                                                                       |
| Covered on-site parking          | 1 covered                     | 1 covered space                                                                                      |
| Driveway Width                   | 5m                            | 3m Single<br>5m double                                                                               |
| Garage/Carport Width             | 6.3m (30%)                    | <input type="checkbox"/> 6.5m or <input type="checkbox"/> 30% of site width, whichever is the lesser |
| <b>Colours and Materials</b>     |                               |                                                                                                      |

|         |                                  |  |
|---------|----------------------------------|--|
| Roof    | colorbond (woodland grey)        |  |
| Walls   | Face brick<br>Render (off-white) |  |
| Fencing | Colorbond                        |  |

(items in **BOLD** do not satisfy the relevant Principle of Development Control)

## 10. ASSESSMENT

### Zone Desired Character and Principles of Development Control

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Residential Streetscape (Landscape) Zone</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <p><b>Objective 1:</b> Enhancement of the distinctive and primarily coherent streetscapes by retaining and complementing the built form, setting and surrounding landscape features.</p> <p><b>Objective 2:</b> A residential zone for primarily street-fronting dwellings, together with the use of existing non-residential buildings and sites for small-scale local businesses and community facilities.</p> <p><b>Objective 3:</b> Sensitive in-fill development opportunities where appropriate and complementary to the desired character and streetscape setting or providing for the improvement of areas of variable character by replacing discordant buildings and their associated landscape patterns.</p> <p><b>Objective 4:</b> Development that contributes to the desired character of the zone.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |
| <b>Desired Character</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
| <p>The Residential Streetscape (Landscape) Zone encompasses living areas in the west and south eastern section of the City of Unley. The zone is distinguished by coherent streetscape patterns. These attributes include the consistent:</p> <p>(a) rhythm of building sitings, scale, form and setbacks (front and side) and gaps between buildings;</p> <p>(b) allotment and road patterns;</p> <p>(c) landscape features within streetscapes, including the road verge and forward of the building façade.</p> <p>Development should respect and contribute positively to the streetscape setting, and where appropriate, the collective features of distinctive and primarily coherent streetscapes. The key considerations are:</p> <p>(a) siting – sites with generous front and side setbacks to main dwelling buildings and wide road reserves. Building envelopes should reflect this siting, scale and form to maintain the spatial patterns of traditional settlement. Low open style front fences provide transparent streetscape views of landscaped front yards and compatible development.</p> <p>(b) form – a consistent pattern of traditional building proportions (wall heights and widths) and overall roof height, volume and form is associated with the various architectural styles. Infill dwellings and dwelling additions should maintain traditional scale, proportions and building forms when viewed from the primary streetscape.</p> <p>(c) key elements – the articulation of the built form, verandahs and pitched roofs, are important key elements in minimising the visual dominance of buildings to the primary streetscape setting. The careful composition of facades to reduce building mass, avoidance of disruptive elements, and keeping</p> |



*outbuildings, carports and garages as minor elements, assist in complementing the desired character. Low open style front fences complement the style and predominant form of dwellings within the street and streetscape views of landscaped front yards.*

*Sites greater than 5000 square metres will be developed in an efficient and co-ordinated manner to increase housing choice by providing dwellings, supported accommodation or institutional housing facilities at densities higher than, but compatible with, adjoining residential development.*

*Sites for existing or proposed aged care housing, supported accommodation or institutional housing may include minor ancillary non-residential services providing that the development interface is compatible with adjoining residential development.*

### **Assessment**

Objectives 1 and 2 of the Residential Streetscape (Landscape) Zone envisage “*primarily street-fronting dwellings*” that retain and complement the setting, built form character and landscaping features of the surrounding area. Furthermore, Objective 3 and the Desired Character recognise that infill development may be appropriate when sensitively designed to complement the streetscape and spatial characteristics.

The locality comprises predominantly detached dwellings at low densities. Allotments are typically large in size (average site area of approximately 700m<sup>2</sup>), regular in shape and have wide road frontages. The site for the proposed dwelling was previously approved by the CAP, with the rear yard having been excised from the existing dwelling.

The proposal involves the demolition of the existing dwelling and construction of a new two dwelling that will also address the Fisher Street frontage. The dwelling is designed with a series of upper storey gables with dormer-style windows that are contained within the roof space. The proposed dwelling would not appear cramped or visually overbearing within the streetscape due to the well-proportioned facades and the boundary setbacks, which are consistent with the existing development pattern.

While the proposed two storey dwelling would be more visually prominent than the existing dwelling, the design, size and siting of the proposal is such that it would be sufficiently compatible with the existing streetscape character and setting, in accordance with Objective 1, 3 and 4 of the Residential Streetscape (Landscape) Zone.

| Relevant Zone Principles of Development Control                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | Assessment                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>PDC 7</b><br/> <i>Development should retain and enhance its streetscape contribution by being sited and designed to respond positively to the streetscape context of its locality in terms of the:</i></p> <p><i>(a) rhythm and setting of buildings and open spaces (front and side setbacks);</i><br/> <i>(b) dominant garden and landscape vistas;</i><br/> <i>(c) recessive or low key nature of vehicle garaging and the associated driveway and minimising the number and width of access points to public roads.</i></p>                                                                                                                                                 | <p>Traditional bungalow dwellings are prevalent within the immediate locality along Fisher Street, while the Sedgford Road streetscape is more mixed with several conventional dwellings amongst traditional bungalows. Dwellings are single storey with either hip or gable roofs.</p> <p>The proposed dwelling takes cues from the pitched roofs and gables of existing dwellings. Although the roof is taller and more prominent than other dwellings due to a 39 degree roof pitch, the overall size and scale of the built form would sit comfortably within the streetscape. The garage of the dwelling would have a recessive appearance as it has a single door openings and is setback two metres behind the front wall.</p> <p>The dwelling would also have a setting that is consistent with other dwellings, with adequate side and rear boundary setbacks and a front setback that allows for landscaping to visually soften the built form.</p> |
| <p><b>PDC 9</b><br/> <i>Development should present a single storey built scale to its streetscape. Any second storey building elements should be:</i></p> <p><i>(a) integrated sympathetically into the dwelling design and landscape setting;</i><br/> <i>(b) incorporated primarily into the roof or comprise an extension of the primary single storey roof element without imposing excessive roof volume or bulk, or massing intruding on neighbouring spacious conditions, nor increasing the evident wall heights as viewed from the street;</i><br/> <i>(c) set well behind the primary street façade of the dwelling so as to be inconspicuous from the streetscape.</i></p> | <p>Although the proposed dwelling incorporates a second storey, the upper level is fully contained within the roof space. As the upper level comprises only 38 percent of the total ground floor area, the volume and massing of the roof would not be excessive. PDC 9 is therefore satisfied.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <p><b>PDC 10</b><br/> <i>Buildings and structures should suitably reference the contextual conditions of its locality and contribute positively to the</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | <p>As considered above, the proposed dwelling would suitably reference the existing characteristics of the locality, particularly in relation to the roof design,</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |

|                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                          |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|
| <p><i>desired character, particularly in terms of its:</i></p> <p><i>(a) building scale and form relative to its setback and the overall size of its site;</i></p> <p><i>(b) streetscape setting or the pattern of buildings and spaces (front and side setbacks), and gaps between buildings;</i></p> <p><i>(c) front fencing being low and visually permeable to emphasise a strong streetscape landscape character.</i></p> | <p>boundary offsets and opportunity for landscaping.</p> |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------|

**Policy Area Desired Character and Principles of Development Control**

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Landscape Policy Area 11</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <p><b>Desired Character</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><i>This policy area comprises three precincts with allotment sizes of 300, 400 and 560 square metres. Development will seek to retain the prevailing low scale of development and the coherent rhythm, building spacing and landscaped setting. The policy area is confined to Fullarton, Highgate, Malvern (south), Forestville (south) and Myrtle Bank.</i></p>                                                                                                                                                                                                  |
| <p><b>Assessment</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| <p>The allotment has a site area of 567.7m<sup>2</sup>, which has previously been approved by the CAP.</p> <p>The Desired Character for Landscape Policy Area 11 is seeking to <i>"retain the prevailing low scale of development and the coherent rhythm, building spacing and landscaped setting"</i>. The upper level of the dwelling is contained within the roof space and would complement the pitched roofs and gables of existing dwellings. The size and siting of the dwelling would also complement the existing building pattern along Fisher Street.</p> |

| <p><b>Relevant Policy Area Principles of Development Control</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <p><b>Assessment</b></p>                                                                                                                                                                                                                                                                                          |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>PDC 2</b></p> <p><i>Development should:</i></p> <p><i>(a) be primarily detached dwellings, with sensitive infill development sited and designed so as to be inconspicuous from the streetscape, and maintain the desired character and key streetscape setting features.</i></p> <p><i>(b) conserve the physical attributes and key streetscape setting features comprising:</i></p> <p><i>(i) setting - the regular prevailing subdivision and allotment pattern that produces a characteristic streetscape pattern of allotment frontages, buildings and gardens spaced behind generally open fenced front boundaries. Primary street setbacks are generally 6m to 8m and side setbacks consistently no less than 1m and most often greater.</i></p> | <p>As considered above, the proposed dwelling has been appropriately designed to address the road frontage and to contribute positively to the desired character by virtue of the modest building scale, well-proportioned facades and setbacks from boundaries. The proposal is considered to satisfy PDC 2.</p> |

|                                                                                                                                                                                                                                                                                                                                      |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|
| <p><i>(ii) form - the characteristic features of consistent scale and proportions of buildings including wall heights and roof designs to the streetscape</i></p> <p><i>(iii) key elements – good articulation of walls and roofs to street facades to reduce the scale, bulk and dominance of buildings to the streetscape.</i></p> |  |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|

### **Relevant Council Wide Objectives and Principles of Development Control**

An assessment has been undertaken against the following Council Wide Provisions:

| <b>City-wide Objectives and Principles of Development Control</b> |            |                                                                                    |
|-------------------------------------------------------------------|------------|------------------------------------------------------------------------------------|
| <b>Design and Appearance</b>                                      | Objectives | 1, 2                                                                               |
|                                                                   | PDCs       | 1, 2, 3, 9, 10, 12, 13, 14, 19, 20, 21                                             |
| <b>Energy Efficiency</b>                                          | Objectives | 1, 2                                                                               |
|                                                                   | PDCs       | 1, 2, 3, 4                                                                         |
| <b>Form of Development</b>                                        | Objectives | 1, 3, 4, 7                                                                         |
|                                                                   | PDCs       | 1, 2, 3                                                                            |
| <b>Interface Between Land Uses</b>                                | Objectives | 1, 2, 3                                                                            |
|                                                                   | PDCs       | 1, 2, 3                                                                            |
| <b>Landscaping</b>                                                | Objectives | 1                                                                                  |
|                                                                   | PDCs       | 1, 2                                                                               |
| <b>Public Notification</b>                                        | PDCs       | 1                                                                                  |
| <b>Regulated and Significant Trees</b>                            | Objectives | 3                                                                                  |
|                                                                   | PDCs       | 4, 5, 6, 7, 8, 9, 11, 12                                                           |
| <b>Residential Development</b>                                    | Objectives | 1, 2, 4                                                                            |
|                                                                   | PDCs       | 1, 5, 6, 7, 13, 14, 15, 16, 17, 19, 20, 23, 24, 32, 33, 34, 35, 36, 37, 40, 41, 42 |
| <b>Transportation (Movement of People and Goods)</b>              | Objectives | 1, 2, 3, 5, 6                                                                      |
|                                                                   | PDCs       | 1, 2, 3, 5, 9, 10, 12, 13, 14, 18, 19, 20, 21, 22, 33                              |

The following table includes the Council-wide provisions that warrant further discussion in regard to the proposed development:

| <b>Relevant Council Wide Provisions</b>          | <b>Assessment</b>                                                                                                                                                                                                                                                                                                                                                                                                                 |
|--------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Residential Development</b>                   |                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| <b><i>PDC 5, 6 &amp; 7 – Street Setbacks</i></b> | <p>The main front wall of the proposed dwelling would be setback 7.0 metres from the Fisher Street frontage. The garage is setback a further 2.3 metres at a distance of 9.3 metres. From Sedgeford Road, the eastern side of the dwelling is setback 2.4 metres at ground level and 3.6 metres at the upper level.</p> <p>Council Wide PDC 5, 6 and 7 seek to ensure that new buildings maintain the existing streetscape by</p> |

|                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
|---------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                               | <p>complementing the setback of adjacent buildings. The adjoining dwelling on the western side is setback approximately 8.9 metres from Fisher Street, and while the front wall of the proposed dwelling would be located closer to the street, the setback to the upper level and garage of 9.0 metres and 9.3 metres respectively would provide adequate transition to this adjoining property and others within the immediate locality.</p> <p>The setbacks to the secondary street are considered to satisfy Council Wide PDC 7.</p> <p>Accordingly, the siting of the proposed dwelling would maintain the existing the development pattern and streetscape character.</p>                                                      |
| <p><b><i>PDC 13 – Side and Rear Boundary Setbacks</i></b></p> | <p>Council Wide PDC 13 recommends a minimum setback of one metre from side boundaries for single storey walls and 3 metres for two storey walls up to 7 metres in height. The side boundary setbacks would satisfy PDC 13 and therefore sufficiently minimise any overshadowing or visual intrusion.</p> <p>The rear of the existing dwelling would be setback a minimum of 5.8 metres from the new ‘rear’ boundary at ground level and 6.9 metres at the upper level. Although PDC 13 recommends a minimum upper storey setback of 8 metres, a lesser setback in this instance would not result in any adverse amenity impacts and nor would it be detrimental to the setting of the dwelling or the desired spatial character.</p> |
| <p><b><i>PDC 19 &amp; 20 – Private Open Space</i></b></p>     | <p>The proposed dwellings would be provided with 142m<sup>2</sup> (25%) of private open space. The layout, orientation and amount of private open space satisfies Council Wide PDC 20 and is considered suitable for clothes drying, entertaining and other domestic activities.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <p><b><i>PDC 38 &amp; 39 – Overlooking / Privacy</i></b></p>  | <p>The upper storey window openings on the western side and rear elevations are designed with fixed obscure glass to a height of at least 1.7 metres above the floor level.</p> <p>The proposed window treatments are considered adequate in maintaining the privacy of neighbouring properties in accordance with Council Wide PDC 38 and 39.</p>                                                                                                                                                                                                                                                                                                                                                                                   |

|                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
|----------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>PDC 41 –<br/>Overshadowing and<br/>Natural Light</b></p> | <p>Given the north to south orientation of the subject land and the relatively modest height and size of the upper storey, the shadow cast by the development would not significantly affect the adjoining properties on either side or to the rear. While some shadow would be cast over the new rear allotment, this property would receive adequate sunlight during the morning and afternoon, in accordance with Council Wide PDC 41.</p>                                                                                                                                                                                                                                                                                                                                                                                                                 |
| <p><b>Transportation (Movement of People and Goods)</b></p>    |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| <p><b>PDC 13 &amp; 20 – Access<br/>and Car Parking</b></p>     | <p>A new crossover is to be provided on Fisher Street for the proposed dwelling. The separation distance between the access and the existing street tree is acceptable. The existing crossover on Sedgford Road will be altered as part of a previous approval.</p> <p>The location and design of the crossover would maintain adequate lines of sight in both directions and would not conflict with any street infrastructure. The proposed vehicular access arrangements are therefore safe and convenient in accordance with Council Wide PDC 13.</p> <p>When assessed against <i>Table Un/5 – Off Street Vehicle Parking Requirements</i>, there is a requirement for two on-site car parking spaces, with one space to be covered. The proposal includes the provision of two covered and one uncovered space, which satisfies Council Wide PDC 20.</p> |

## **11. CONCLUSION**

In summary, the application is not considered to be seriously at variance with the Development Plan and is considered to satisfy the provisions of the Development Plan for the following reasons:

- The proposal is an orderly and desirable form of development within the Residential Streetscape (Landscape) Zone, which envisages sensitive infill development of up to two storeys in height;
- The design, size and siting of the proposed dwelling is considered to be sufficiently compatible with the existing character and pattern of development in the area;
- The proposed development would not adversely impact upon the amenity of neighbouring properties, in terms of visual impact, loss of privacy or access to natural light; and

- Vehicular access is safe and convenient and the dwelling would be provided with adequate on-site car parking.

The application is therefore recommended for Development Plan CONSENT.

## **12. RECOMMENDATION**

MOVED:

SECONDED:

That Development Application 090/14/2021/C2 at 31A Fisher Street, Myrtle Bank 5064 to demolish existing dwelling and construct a two storey dwelling (on approved Lot 10 of DA 090/180/2019) with associated landscaping is not seriously at variance with the provisions of the City of Unley Development Plan and should be GRANTED Planning Consent subject to the following conditions:

### **DEVELOPMENT PLAN CONSENT DETAILS OF DECISION:**

1. The Development herein approved shall be undertaken in accordance with all plans, drawings, specifications and other documents submitted to Council and forming part of the relevant Development Application except where varied by conditions set out below (if any) and the development shall be undertaken to the satisfaction of Council.
2. All stormwater from the building and site shall be disposed of so as to not adversely affect any properties adjoining the site or the stability of any building on the site. Stormwater shall not be disposed of over a crossing place.
3. That the total stormwater volume requirement (detention and retention) for the development herein approved shall be determined in accordance with the volume requirements and discharge rates specified in Table 3.1 and 4.1 in the City of Unley Development and Stormwater Management Fact Sheet dated 15 January 2017. Further details shall be provided to the satisfaction of Council prior to issue of Development Approval.
4. That all upper floor windows on the western and southern elevations shall be treated to avoid overlooking prior to occupation by being fitted with either raised sills or permanently fixed non-openable obscure glazed panels to a minimum height of 1700mm above floor level with such glazing to be kept in place at all times.
5. That all landscaping shall be planted in accordance with the approved plan (Site Plan prepared by Built Impressions dated 18/03/2021). The landscaping shall be planted within three (3) months of the occupancy of the development and any person(s) who have the benefit of this approval shall cultivate, tend and nurture the landscaping and replace any plants which may become diseased or die.

## NOTES PERTAINING TO DEVELOPMENT PLAN CONSENT:

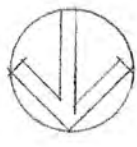
- The applicant is reminded of the requirements of the Fences Act 1975. Should the proposed works require the removal, alteration or repair of an existing boundary fence or the erection of a new boundary fence, a 'Notice of Intention' must be served to adjoining owners. Please contact the Legal Services Commission for further advice on 1300 366 424 or refer to their web site at [www.lsc.sa.gov.au](http://www.lsc.sa.gov.au).
- That any damage to the road reserve, including road, footpaths, public infrastructure, kerb and guttering, street trees and the like shall be repaired by Council at full cost to the **applicant**.
- It is recommended that as the applicant is undertaking work on or near the boundary, the applicant should ensure that the boundaries are clearly defined, by a Licensed Surveyor, prior to the commencement of any building work.
- That any necessary alterations to existing public infrastructure (stobie poles, lighting, traffic signs and the like) shall be carried out in accordance with any requirements and to the satisfaction of the relevant service providers.

| List of Attachments |                            | Supplied By:   |
|---------------------|----------------------------|----------------|
| <b>A</b>            | Application Documents      | Applicant      |
| <b>B</b>            | Representation             | Administration |
| <b>C</b>            | Response to Representation | Applicant      |



## ATTACHMENT A

NOTE: ALL REMAINING CROSSWORKS & KERBS ARE TO BE REPAIRED BY THE NEW WORK TO BE REPAIRED AS PER COUNCIL SPECS.

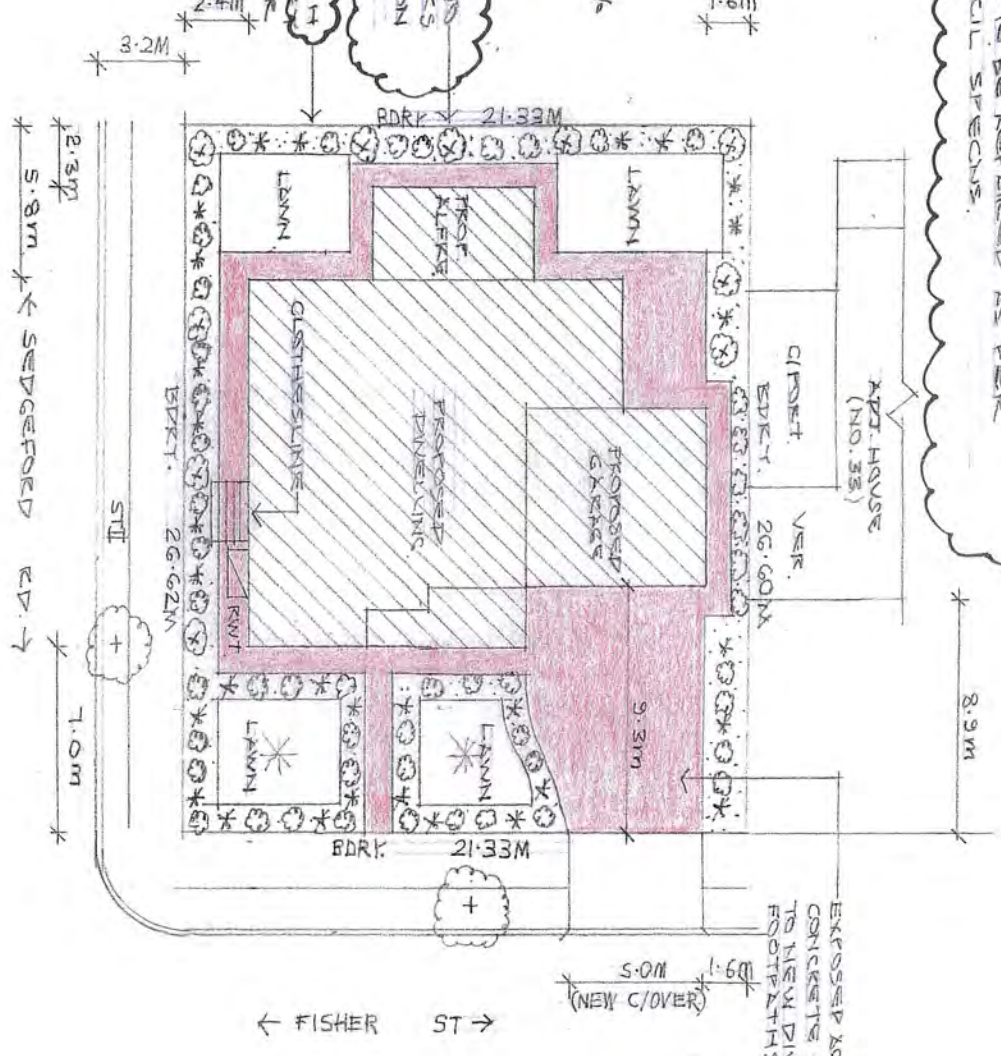


LOT NO. : 507  
 VOL NO. : 5865  
 FOL NO. : 42

SITE AREA : 567.4m<sup>2</sup>  
 BRG./SITE COVERAGE : 40.8%

OVERALL FENCE HEIGHTS TO BE 0.2M CONC. SUPERERS & 1.8M CIBOND FENCE ON TO REAR & SIDE BERRIES.

**SITE PLAN**  
 1:200



- NOTES**
- ST II - EXIST. E.T.S.A. STABLE POLE
  - EXIST. STREET TREES.
  - PROPOSED BOOST RAIN WATER TANK CONNECTED TO MAINLINE W.C.

- LANDSCAPING LEGEND**
- \* - JACKRANBY MIMOSIFOLIA
  - \* - PITTOPOEUM TENNIFOLIUM (MAX. 3m EXPT.)
  - \* - ACANTHUS (MAX 2m EXPT.)
  - \* - CAREX BUCHANANII (MAX 0.3m EXPT.)
  - TREES FOR WIDE BUFFER TOUCH

**AMENDED PLAN / DOCUMENT**  
**DATE: 19/03/2021**

figured dimensions shall take preference over scaled drawings. verify dimensions and levels before commencing any building work. any discrepancy to be reported the designer immediately.

2108

©copyright built impressions.

proposed : DWELUNG

for : MR & MRS KICHIAO AT : 31A FISHER ST, MYRTLE BANK

date : 4-8-20

drawn : P.V. checked :

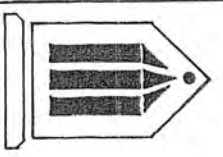
scale : as shown

sheet no. : 4 of 6

job no. : BI-2008-1

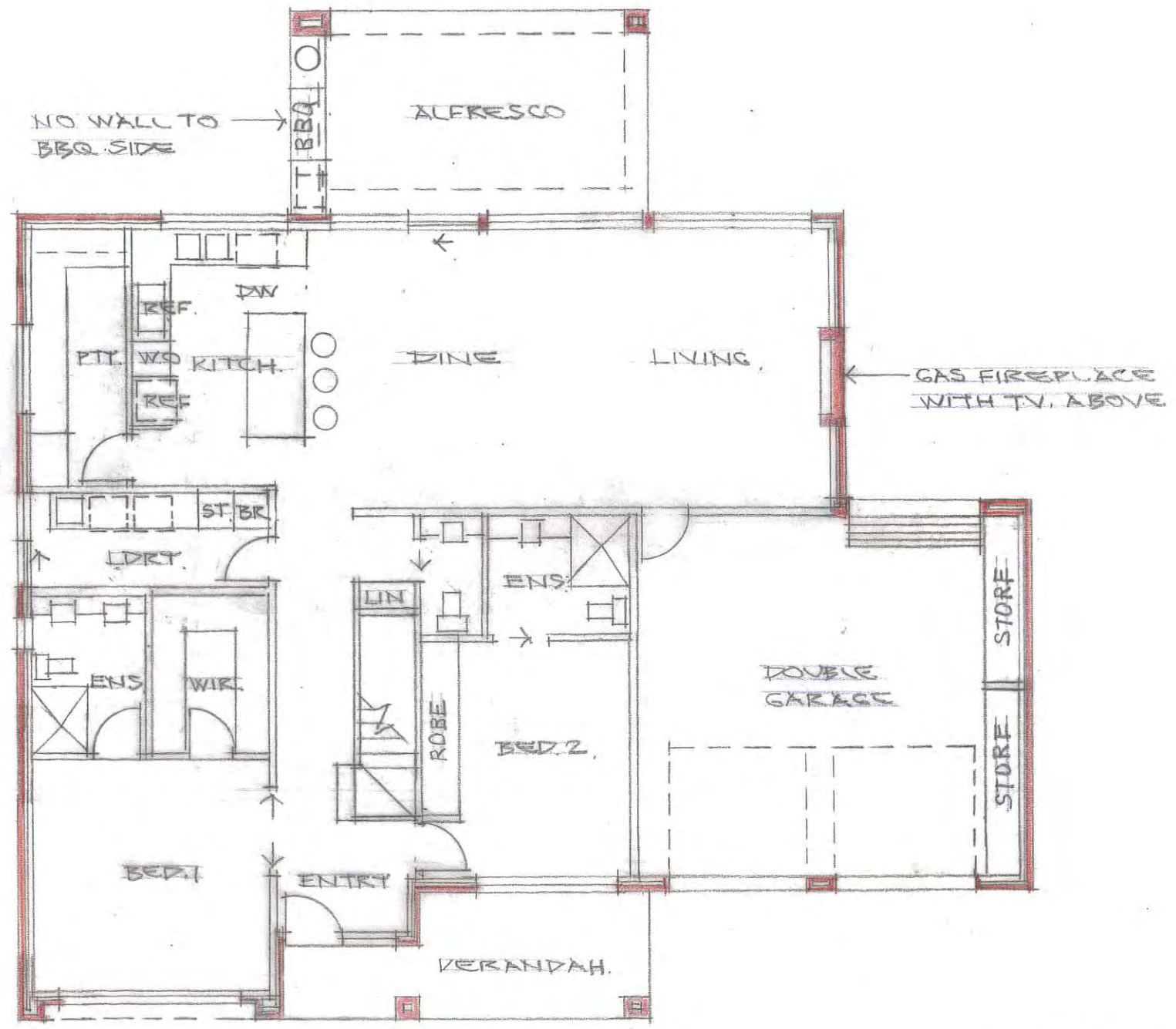
amendments

- 1. 2-11-20
- 2. 29-11-20
- 3. 4-2-21
- 4. 18-3-21



**BUILT IMPRESSIONS**

2 Stannington Ave, Heathpool, 5088  
 Ph: 83324850 m: 0418802865  
 E: builtimp@adama.com



**GND. FLOOR PLAN**  
 1:100 (FACING FISHER ST.)

- NOTES**
1. BRICK VENEER CONSTRUCTION
  2. CONCRETE FLOOR SLAB.
  3. ALUMINIUM WINDOWS & SLIDING DOORS.

| BDC. AREA (M <sup>2</sup> ) |         |
|-----------------------------|---------|
| A. LIVING                   |         |
| GROUND                      | - 154.5 |
| UPPER                       | - 86.7  |
| B. GARAGE                   | - 44.1  |
| C. VERANDAH                 | - 11.6  |
| D. ALFRESCO                 | - 21.3  |
| TOTAL                       | - 318.2 |

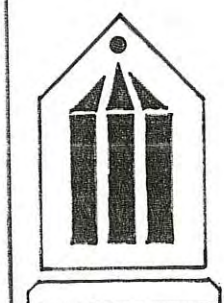
figured dimensions shall take preference over scaled drawings.  
 verify dimensions and levels before commencing any building work.  
 any discrepancy to be reported to the designer immediately.

© copyright built impressions.

proposed : DWELLING  
 for : MR & MRS KHCHAO  
 at : 31A FISHER ST., MYRTLE BANK

date : 4-8-20  
 drawn : D.V. checked :  
 scale : as shown  
 sheet no. : of  
 job no. :  
 BI- 2008-1

- amendments**
1. 2-11-20
  2. 29-11-20
  3. 4-2-21

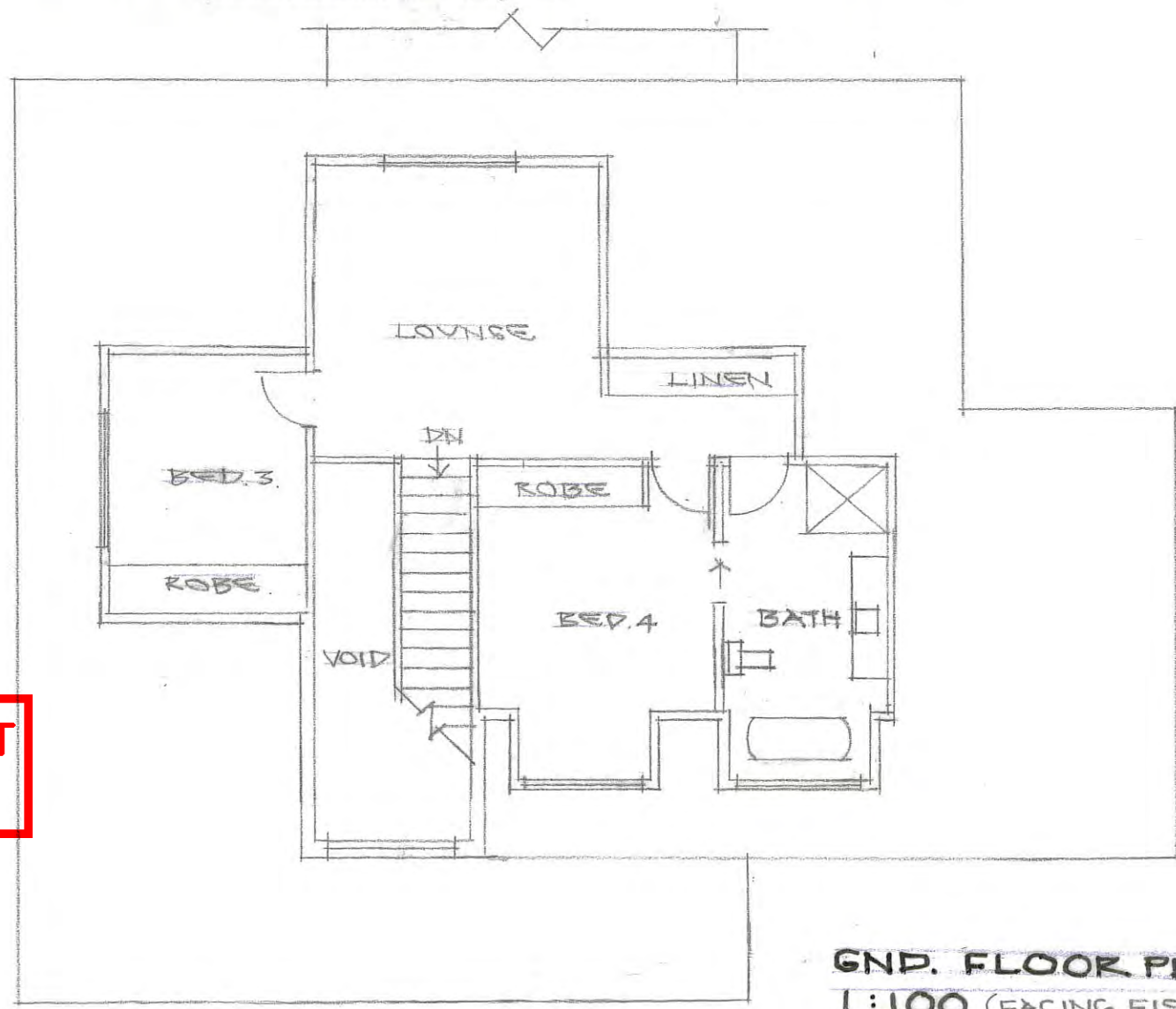


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 E: BUILTIMP@ADAM.COM.AU

**AMENDED PLAN / DOCUMENT**  
**DATE: 18/02/2021**



**FRONT ELEVATION**  
 1:100 (FACING FISHER ST.)  
 (FACING NORTH)



**GND. FLOOR PLAN**  
 1:100 (FACING FISHER ST.)

figured dimensions shall take preference over scaled drawings.  
 verify dimensions and levels before commencing any building work.  
 any discrepancy to be reported to the designer immediately.

© copyright built impressions.

proposed : DWELLING

for : MR & MRS KHCHAO

at : 31A FISHER ST.,  
 MYRTLE BANK

date : 4-8-20

drawn : D.V. | checked :

scale : as shown

sheet no. : of

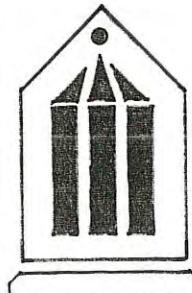
job no. :

BI-2008-1

amendments

1. 2-11-20
2. 29-11-20
3. 4-2-21

**AMENDED PLAN / DOCUMENT**  
**DATE: 18/02/2021**



**BUILT IMPRESSIONS**  
 2 Stannington ave, Heathpool, 5068  
 ph: 83 324 850 m. 04 18 80 2865  
 E: BUILTIMP@NDAAM.COM.AU

**AMENDED PLAN / DOCUMENT**  
**DATE: 18/02/2021**



figured dimensions shall take preference over scaled drawings.  
 verify dimensions and levels before commencing any building work.  
 any discrepancy to be reported to the designer immediately.

© copyright built impressions.

proposed : DWELLING  
 for : MR & MRS KHCHAO  
 at : 31A FISHER ST., MYRTLE BANK

date : 4-8-20

drawn : D.V. checked :

scale : as shown

sheet no. : of

job no. :  
 BI-2008-1

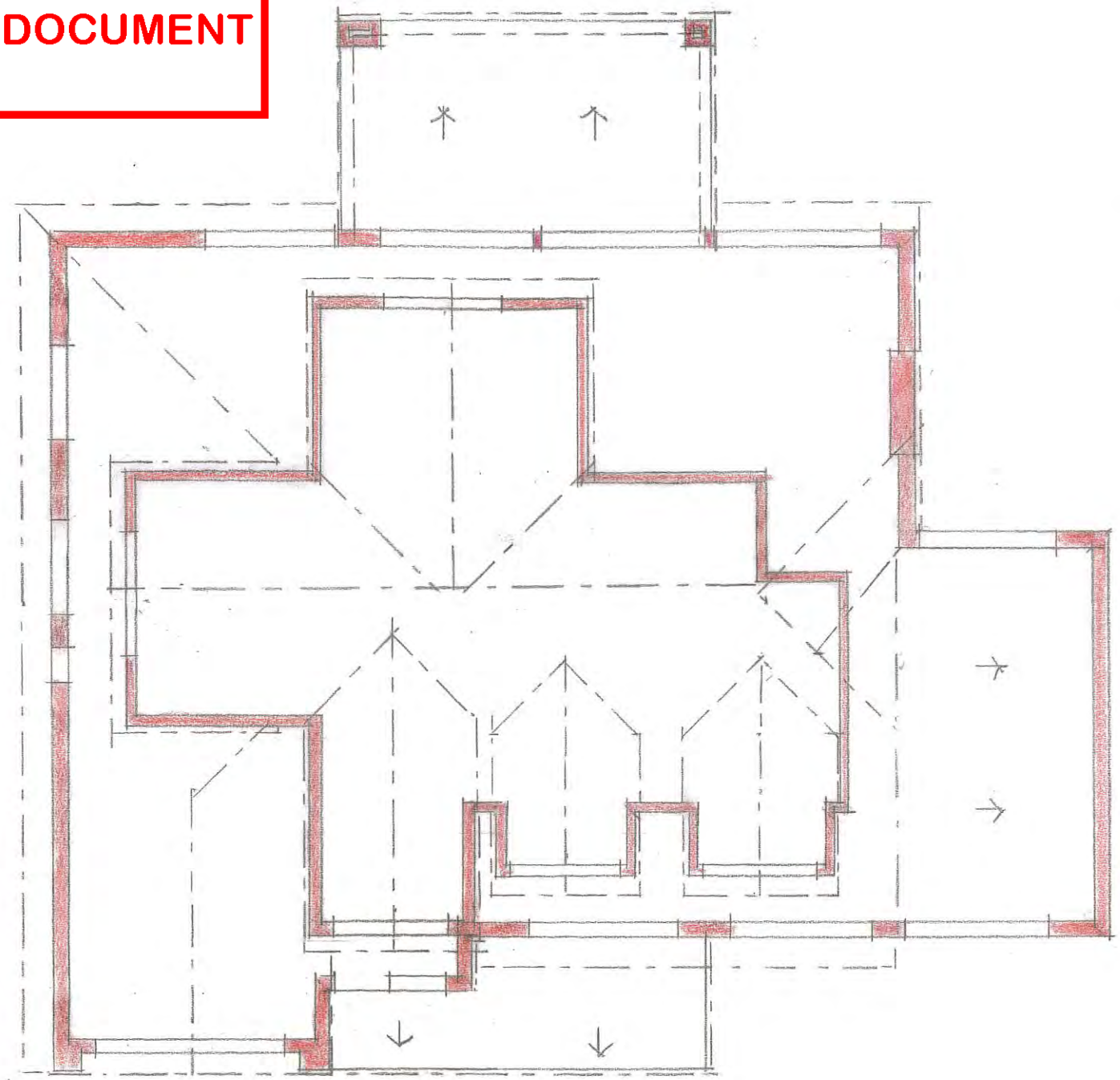
amendments

1. 2-11-20
2. 29-11-20
3. 4-2-21



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 2 Stannington ave, Heathpool, 5068  
 ph: 83 324850 m. 0418802865  
 E: BUILTIMP@ADAM.COM.AU

**AMENDED PLAN / DOCUMENT**  
**DATE: 18/02/2021**



**ROOF PLAN**  
 1:100 (HOUSE FACING FISHER ST.)

figured dimensions shall take preference over scaled drawings.  
 verify dimensions and levels before commencing any building work.  
 any discrepancy to be reported to the designer immediately.

© copyright built impressions.

proposed : DWELLING  
 for : MR & MRS KHCHAO  
 at : 31A FISHER ST.,  
 MYRTLE BANK

date : 4-8-20

drawn : D.V. | checked :

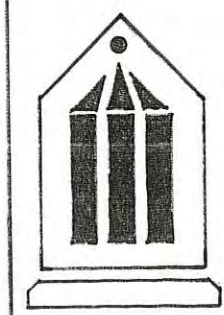
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sheet no. : of

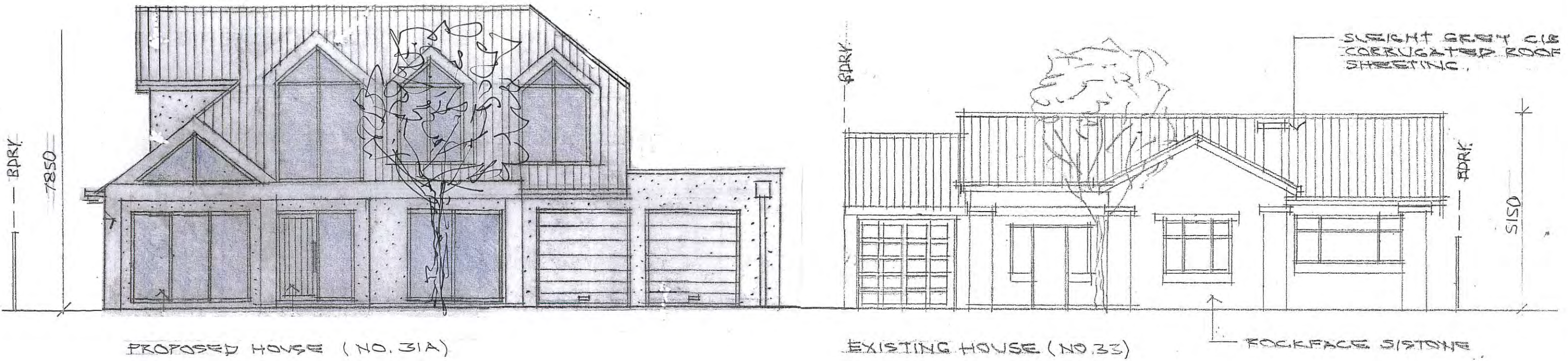
job no. :  
 BI- 2008-1

amendments

1. 2-11-20
2. 29-11-20
3. 4-2-21



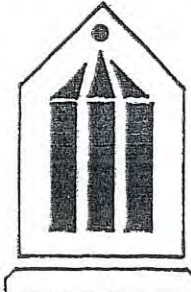
**BUILT IMPRESSIONS**  
 2 Stannington ave, Heathpool, 5068  
 ph: 83 324850 m: 0418802865  
 E: BUILTIMP@ADAM.COM.AU



STREETSCAPE ELEVATION  
1:100

AMENDED : 4-2-21

**AMENDED PLAN / DOCUMENT**  
**DATE: 18/02/2021**



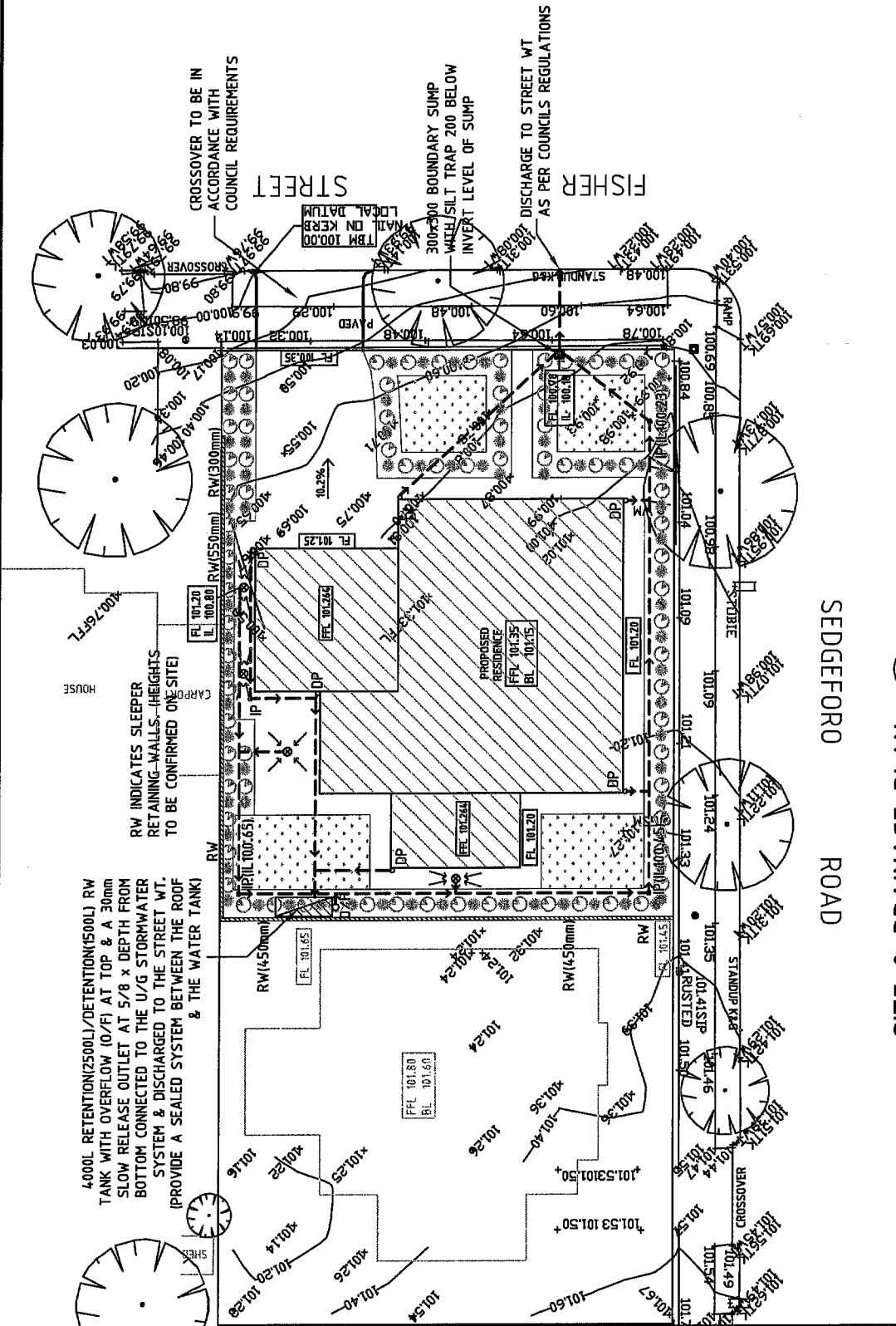
**BUILT IMPRESSIONS**  
2 Stannington ave, Heathpool, 5068  
ph: 83 324 850 m. 04 1880 2865  
E: BUILTIMP@ADAM.COM.AU

**SITE NOTES**

- S1. THIS IS AN ENGINEERING SURVEY PLAN AND SHOULD NOT BE TAKEN AS A CADASTRAL OR IDENTIFICATION SURVEY.
- S2. THE REDUCED LEVELS SHOWN ON THIS PLAN ARE TO BE REGARDED AS INDICATIVE ONLY. THEIR SUITABILITY SHOULD BE ASSESSED ON SITE BY THE BUILDER BUT SHOULD NOT BE LOWERED WITHOUT FIRST CHECKING UP LEVELS.
- S3. THE OWNER SHOULD BE AWARE THAT IT MAY BE MORE PRACTICAL TO CONSTRUCT THE RETAINING WALLS SHOWN ON THIS PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION OF THE BUILDING.
- S4. THE OWNER SHALL PROVIDE ADEQUATE PROPPING/BRACING ETC. TO ANY EXISTING BOUNDARY STRUCTURE OR WALL ON OR NEAR THE BOUNDARIES IMMEDIATELY AFTER SITE EXCAVATION.
- S5. PROVIDE ADEQUATE PROTECTION OR COVER TO STORM WATER PIPES I.E. 150mm AND WHERE PIPE IS TO BE SUBJECT TO VEHICULAR LOADING 300mm MIN. COVER IS REQUIRED, OR ENCASE PIPE IN 100mm THICK CONCRETE. IT IS RECOMMENDED TO USE GALVANIZED BOX SECTION BETWEEN BOUNDARY AND STREET WATERWAY.
- S6. MAXIMUM LEVEL OF PATH AT FLOOD GULLY TO BE 165mm BELOW FINISHED FLOOR LEVEL.
- S7. ALL STORMWATER WORKS AND RETAINING WALLS ARE TO BE CONSTRUCTED BY THE OWNER UNLESS STATED OTHERWISE IN THE BUILDERS CONTRACT.
- S8. ALL BUILDINGS, STRUCTURES AND TREES AFFECTING OR AFFECTED BY PROPOSED BUILDING WORKS HAVE BEEN SHOWN ON THIS PLAN.
- S9. REMOVAL OF ALL EXCESS SPOIL FROM SITE CUT & FOOTING EXCAVATION IS THE OWNERS RESPONSIBILITY UNLESS NOTED OTHERWISE BY THE BUILDER.
- S10. THE DRAINAGE LAYOUTS SHOWN ON THIS PLAN ARE DIAGRAMATIC PLUMBING AND DRAINAGE DIRECTIONS - ALL APPLICABLE PARTS AMENDED. ENSURE SEWER TRENCH IS 900mm MIN. FROM FOOTINGS. DATUM FOR LEVELS - TBM AS SHOWN.
- S11. LAGGING IS REQUIRED, 20mm CLOSED CELL POLYETHYLENE.
- S12. FLEXIBLE SEWER & STORMWATER CONNECTIONS ARE REQUIRED.
- S13. FLEXIBLE SEWER & STORMWATER CONNECTIONS ARE REQUIRED.

NOTE:  
RW TANKS TO BE PLUMBED TO THE TOILET CISTERNS.

SITE LEVEL BY  
OTHERS



|                                                                                                                                                                                                    |                                              |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------|
| <b>AMENDMENTS</b><br>-<br>-<br>-                                                                                                                                                                   |                                              |
| <b>ZAFRIS &amp; ASSOCIATES PTY. LTD.</b><br>CONSULTING CIVIL & STRUCTURAL ENGINEERS<br>UNIT 1, 467 FOLLARTON ROAD, HURGATE S.A. 5063<br>PHONE 021 998 1100 FAX 021 998 1101 email: info@zafris.com |                                              |
| NEVER SCALE DRAWING. FIGURED DIMENSIONS TAKE PREFERENCE OVER SCALE. VERIFY ALL DIMENSIONS PRIOR TO COMMENCING ANY WORK.                                                                            |                                              |
| <b>SITE:</b><br>PROPOSED RESIDENCE<br>FOR: MR. & MRS. KHCHAO<br>AT: 31A FISHER STREET,<br>MYRTLE BANK                                                                                              | <b>TITLE:</b><br>SITE & DRAINAGE LAYOUT PLAN |
| <b>DESIGN:</b><br>PZ                                                                                                                                                                               | <b>CHECKED:</b><br>TAZ                       |
| <b>DRAWN:</b><br>PZ                                                                                                                                                                                | <b>DATE:</b><br>05 MAR'21                    |
| <b>DRAWING NUMBER:</b><br>CF5                                                                                                                                                                      | <b>JOB NUMBER:</b><br>220111(2)              |
| <b>ISSUE:</b><br>-                                                                                                                                                                                 | <b>SCALE:</b><br>AS SHOWN                    |
| <b>ISSUE:</b><br>-                                                                                                                                                                                 | <b>AS SHOWN</b>                              |

|                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                 |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>LEGEND</b><br>TTT EXISTING GROUND LEVEL<br>100.00 DESIGN LEVEL<br>DP DOWNPIPE<br>IP STORMWATER INSPECTION POINT<br>STORMWATER PIPE 150 Ø UPVC U/LD. 100mm FALL 1:200<br>CONCRETE SUMP 450x500 x 450 CLASS D WITH 15 GRATED COVER U/LD.<br>NEW BITUMEN PAVING<br>TTT EXISTING ENGINEERING/BATTER | TTT ENGINEERING/BATTER GRADE BANKS 1:2 MAX<br>SPOKE DRAIN 100mm FALL 1:200<br>UNLINED OPEN DRAIN 100mm FALL 1:100<br>SEWER PIPE 100mm FALL 1:50<br>GRATED TRENCH DRAIN 100mm FALL 1:200<br>KERB<br>KERB & GUTTER<br>900 GRATED SURFACE 500 SUMP |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

**SITE & DRAINAGE PLAN**  
 SCALE 1:200

SEDGEFORD ROAD

FISHER STREET

HOUSE

CARP

PROPOSED RESIDENCE

4000L RETENTION (2500L)/DETENTION (1500L) RW TANK WITH OVERFLOW (10/F) AT TOP & A 300mm SLOW RELEASE OUTLET AT 5/8 x DEPTH FROM BOTTOM CONNECTED TO THE U/G STORMWATER SYSTEM & DISCHARGED TO THE STREET WT. (PROVIDE A SEALED SYSTEM BETWEEN THE ROOF & THE WATER TANK)

300x300 BOUNDARY SUMP WITH SILT TRAP 200 BELOW INVERT LEVEL OF SUMP

DISCHARGE TO STREET WT AS PER COUNCILS REGULATIONS

300 Ø STORMWATER PIPE

300 Ø DOWNPIPE

100 Ø DOWNPIPE

100 Ø STORMWATER INSPECTION POINT

100 Ø STORMWATER PIPE 150 Ø UPVC U/LD. 100mm FALL 1:200

CONCRETE SUMP 450x500 x 450 CLASS D WITH 15 GRATED COVER U/LD.

NEW BITUMEN PAVING

EXISTING ENGINEERING/BATTER

EXISTING GROUND LEVEL

DESIGN LEVEL

DOWNPIPE

STORMWATER INSPECTION POINT

STORMWATER PIPE 150 Ø UPVC U/LD. 100mm FALL 1:200

CONCRETE SUMP 450x500 x 450 CLASS D WITH 15 GRATED COVER U/LD.

NEW BITUMEN PAVING

EXISTING ENGINEERING/BATTER

LEGEND

TTT ENGINEERING/BATTER GRADE BANKS 1:2 MAX

SPOKE DRAIN 100mm FALL 1:200

UNLINED OPEN DRAIN 100mm FALL 1:100

SEWER PIPE 100mm FALL 1:50

GRATED TRENCH DRAIN 100mm FALL 1:200

KERB

KERB & GUTTER

900 GRATED SURFACE 500 SUMP

TTT EXISTING GROUND LEVEL

100.00 DESIGN LEVEL

DP DOWNPIPE

IP STORMWATER INSPECTION POINT

STORMWATER PIPE 150 Ø UPVC U/LD. 100mm FALL 1:200

CONCRETE SUMP 450x500 x 450 CLASS D WITH 15 GRATED COVER U/LD.

NEW BITUMEN PAVING

TTT EXISTING ENGINEERING/BATTER

SCALE 1:200

SEDGEFORD ROAD

FISHER STREET

HOUSE

CARP

PROPOSED RESIDENCE

4000L RETENTION (2500L)/DETENTION (1500L) RW TANK WITH OVERFLOW (10/F) AT TOP & A 300mm SLOW RELEASE OUTLET AT 5/8 x DEPTH FROM BOTTOM CONNECTED TO THE U/G STORMWATER SYSTEM & DISCHARGED TO THE STREET WT. (PROVIDE A SEALED SYSTEM BETWEEN THE ROOF & THE WATER TANK)

300x300 BOUNDARY SUMP WITH SILT TRAP 200 BELOW INVERT LEVEL OF SUMP

DISCHARGE TO STREET WT AS PER COUNCILS REGULATIONS

300 Ø STORMWATER PIPE

300 Ø DOWNPIPE

100 Ø DOWNPIPE

100 Ø STORMWATER INSPECTION POINT

100 Ø STORMWATER PIPE 150 Ø UPVC U/LD. 100mm FALL 1:200

CONCRETE SUMP 450x500 x 450 CLASS D WITH 15 GRATED COVER U/LD.

NEW BITUMEN PAVING

EXISTING ENGINEERING/BATTER

LEGEND

TTT ENGINEERING/BATTER GRADE BANKS 1:2 MAX

SPOKE DRAIN 100mm FALL 1:200

UNLINED OPEN DRAIN 100mm FALL 1:100

SEWER PIPE 100mm FALL 1:50

GRATED TRENCH DRAIN 100mm FALL 1:200

KERB

KERB & GUTTER

900 GRATED SURFACE 500 SUMP

TTT EXISTING GROUND LEVEL

100.00 DESIGN LEVEL

DP DOWNPIPE

IP STORMWATER INSPECTION POINT

STORMWATER PIPE 150 Ø UPVC U/LD. 100mm FALL 1:200

CONCRETE SUMP 450x500 x 450 CLASS D WITH 15 GRATED COVER U/LD.

NEW BITUMEN PAVING

TTT EXISTING ENGINEERING/BATTER



## STORMWATER DRAINAGE CALCULATIONS

**CLIENT:** MR. & MRS. KHCHAO

**JOB NO:** 2201111(2)

**SITE:** 31A FISHER ST., MYRTLE BANK

**PROJECT DETAILS:** STORMWATER DRAINAGE DESIGN

**PAGE**

**INDEX**

1

STORMWATER DESIGN COMPUTATIONS

**NOTES:**

- These calculations are to be read in conjunction with relevant construction reports, structural drawings and architectural drawings.
- All work to comply with the Building Code of Australia and relevant Australian and Australian and New Zealand Standards and Minister's Specifications listed below:

|         |                                                                       |
|---------|-----------------------------------------------------------------------|
| AS 3500 | PLUMBING AND DRAINAGE                                                 |
| AS 2870 | RESIDENTIAL SLABS AND FOOTINGS                                        |
| AS 1221 | FIRE HOSE REELS                                                       |
| AS 2620 | DOMESTIC GARDEN HOSE                                                  |
| AS 1530 | METHODS FOR FIRE TESTS ON BUILDING MATERIALS, COMPONENTS & STRUCTURES |
| SA 78   | ADDITIONAL REQUIREMENTS IN DESIGNATED BUSHFIRE PRONE AREAS            |
| SA 78AA | ON-SITE RETENTION OF STORMWATER                                       |

*Unit 7, 467 Fullarton Road, Highgate, South Australia, 5063*

**Telephone:** (08) 8299 9908 **Facsimile:** (08) 8299 9907

**Email:** [admin@zafirisenigneers.com.au](mailto:admin@zafirisenigneers.com.au)



**ZAFIRIS & ASSOCIATES PTY. LTD.**  
 CONSULTING CIVIL & STRUCTURAL ENGINEERS  
 UNIT 7, 467 FULLARTON ROAD, HIGHGATE S.A. 5063  
 Ph (08) 8299 9908 Fax (08) 8299 9907 ACN 008 085 252  
 e-mail zafiris@adam.com.au

JOB No. 2201111(2)

SHEET No. 1

DESIGN PZ

DATE 05/03/21

JOB TITLE

31A FISHER ST., MYRTLE BANK

**RAINWATER TANK SIZE REQUIRED:**

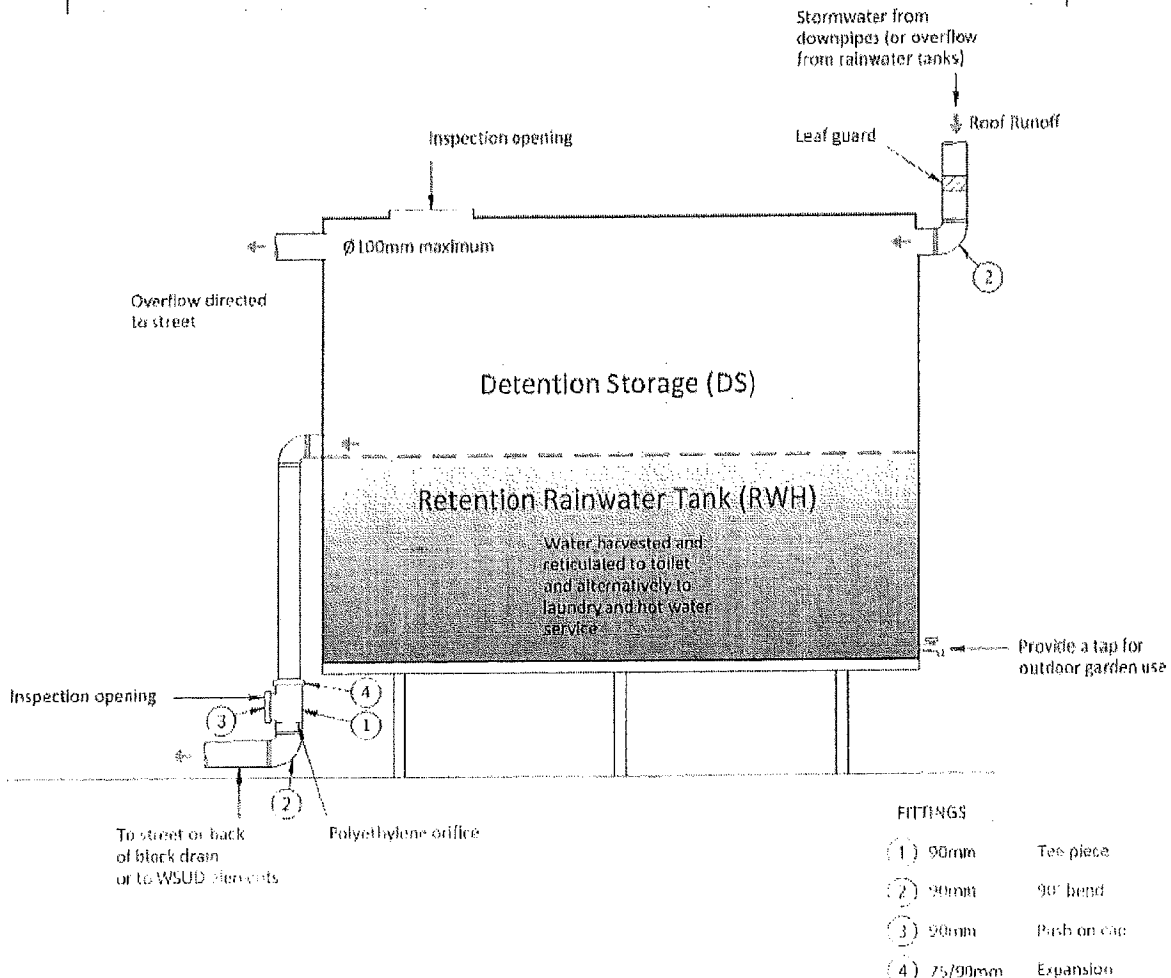
Total allotment size: 568 m<sup>2</sup>

From council tank capacity chart:

Table 3.1: Stormwater Detention and Retention Requirements for developments

| Area of Allotment (m <sup>2</sup> )                                                         | Storage Method                             |                           | Total Stormwater Storage Volume for Site, SSV (L) | Maximum Discharge Rate to Kerb* (L/s) |
|---------------------------------------------------------------------------------------------|--------------------------------------------|---------------------------|---------------------------------------------------|---------------------------------------|
|                                                                                             | Retention Rain Water Harvest Tank, RWH (L) | Detention Storage, DS (L) |                                                   |                                       |
| Single Residential Dwellings/Town houses<br>(Total storage requirements per allotment area) |                                            |                           |                                                   |                                       |
| Up to 400                                                                                   | 2000                                       | 1000                      | 3000                                              | 4                                     |
| 401-500                                                                                     | 2000                                       | 1500                      | 3500                                              | 4                                     |
| ★ 501-600                                                                                   | 2500                                       | 1500                      | 4000                                              | 4                                     |

Tank Required: 2500(retention) + 1500 (detention) = 4000 ret/det tank with a 30mm  $\phi$  outlet.



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**ATTACHMENT B**

REPRESENTATION Category 2 (Page 1)

CITY OF UNLEY  
24 FEB 2021  
REF:

To: Don Donaldson, City of Unley Development Section

Please read these notes carefully:

1. Both pages MUST be completed in full and returned to the City of Unley by the closing date to be a valid representation.
2. This page (ie Page 1) will NOT be published on the internet.
3. Pages 1 and 2 (and any attachments) may be included as attachments in the hard copy of the Council Assessment Panel agenda.
4. Please note that in accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is 5pm on 11 March 2021.

Application: 090/14/2021/C2 31A Fisher Street, Myrtle Bank 5064

Details of Person(s) making Representation:

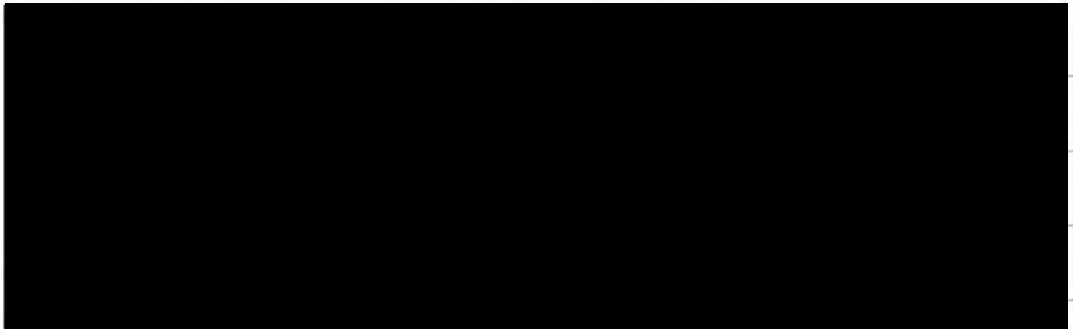
Name:

Postal Address:

EMAIL ADDRESS:

Daytime Phone No.

Property affected by Development



As above

*Reh J Cook*

(Signature)

23/2/2021

(Date)

25 FEB 2021

10

## REPRESENTATION Category 2 (Page 2)

To: Don Donaldson, City of Unley Development Section

1. This page (ie Page 2) and any attachments may be published on the internet and thus be able to be searched via Google and other internet search engines.
2. In accordance with Section 38(8) of the Development Act 1993, a copy of this representation (Pages 1 and 2 and any attachments) will be forwarded to the Applicant for consultation and response.

The closing date for Representations is 5pm on 11 March 2021.

|                                  |                                                    |
|----------------------------------|----------------------------------------------------|
| Application:                     | 090/14/2021/C2 31A Fisher Street, Myrtle Bank 5064 |
| Property affected by Development | 1 Sedgeford Road, Myrtle Bank, 5064                |

I support the proposed development.

OR (Tick one only)

I object to the proposed development because:

(Please state your reasons so that each planning issue can be clearly identified. Attach extra pages if you wish)

1. The proposed dwelling is 2 stories, 7.85m high which is not consistent with zone rules for this area.
2. The proposal shows 2.0m fencing which is not consistent with adjacent properties.
3. The proposal does not include reinstatement of the existing kerbing on Sedgeford Road.
4. The site plan shows the existing ETRA Stable Pole in the wrong position.

My concerns (if any) could be overcome by:

WISH TO BE HEARD

DO NOT WISH TO BE HEARD

by the Council Assessment Panel

(Tick one box only. If you do not tick either box it will be assumed that you do not wish to be heard by the Council Assessment Panel.)

**ATTACHMENT C**

**From:** Danny Vlahiotis  
**Sent:** Thu, 18 Mar 2021 18:57:35 +1030  
**To:** Amy Barratt;Don Donaldson  
**Cc:** 'sam khchao'  
**Subject:** RE: Representation received 090/14/2021/C2 31A Fisher Street Myrtle Bank  
**Attachments:** MX2310\_20210318\_181103.pdf

Hi Amy,

I am surprised by some of the objections raised by Peter Cock of 1 Sedgeford Rd., Myrtle Bank, as he isn't an adjoining owner of this proposed dwelling, nor can he even see this dwelling from his house.

Below is my response to his queries:

1. We have a 7.85m overall height to the dwelling so that the upper storey can fit inside the roof pitch. This height is not uncommon for previously approved two storey dwellings within the council zone.
2. We have clarified that the fences to the side & rear boundaries will have a 200mm concrete sleeper, & a 1.8m high c/bond fence on top. This type of fencing arrangement is typical of fences throughout most new developments throughout Adelaide.
3. I have noted on the plans that we will be rectifying any redundant crossovers or damaged kerbing prior to completion of the work to the satisfaction of the council.
4. I have checked all the existing stobie pole shown on the plan, & can confirm it is in the correct location as originally shown.

Attached is an amended plan showing the changes noted.

Kind regards,

Danny Vlahiotis  
BUILT IMPRESSIONS P/L

---

**From:** Amy Barratt <abarratt@unley.sa.gov.au>  
**Sent:** Monday, 15 March 2021 4:18 PM  
**To:** Danny Vlahiotis <builtimp@adam.com.au>  
**Subject:** Representation received 090/14/2021/C2 31A Fisher Street Myrtle Bank

Hi Danny,

The notification period for 31a Fisher Street has now closed and we have received the attached representation.

Please note that applications with an unresolved representation are required to be presented to the Panel for decision.

Could you please let us know if you will be responding to the representation.





on the basis that considerations at the meeting should be conducted in a place open to the public has been outweighed on the basis that the information relating to actual litigation or litigation that the Panel believes on reasonable grounds will take place.